



HISTORIC PRESERVATION COMMISSION

MAY 23, 2019

ASSEMBLY HALL

395 MAGNOLIA RD.

PINEHURST, NORTH CAROLINA

4:00 PM

I. Call to Order

II. Approval of Minutes

- A. April 25, 2019 Draft Minutes

III. Public Hearing

A. COA 19-052

This public hearing is to consider a request within the Pinehurst Historic District to construct a new Pinehurst Elementary School following demolition of the old school at 100 Dundee Road adjacent to the intersection with Kelly Road in Pinehurst, NC. The property can be identified by Moore County Parcel ID #24884. The property is owned by the Moore County Board of Education (Moore County Schools) and the applicant is Brent Covington, AIA (Ratio Design).

B. COA 19-050

This public hearing is to consider a request within the Pinehurst Historic District to demolish a small accessory residence located on the rear of the property at 600 Linden Road in Pinehurst, NC. The property can be identified by Moore County Parcel Number# 16367. The owner and applicant is Riley and Walker Homes, LLC.

C. COA 19-040

This public hearing is to consider a request within the Pinehurst Historic District to construct a detached garage, add a first floor addition to the cottage rear, paint, a new covered porch, and a new roof on the main house and cottage at 275 Dundee Road in Pinehurst, NC. The property can be identified by Moore County Parcel Number# 30210. The owners are Robert and Lisa Hammond and the applicant is Cribbs Construction Company.

D. COA 19-045

This public hearing is to consider a request within the Pinehurst Historic District to extend the east side of a garage by 6 feet, add new roof windows, garage doors, a service door and new siding at 185 Cherokee Road in Pinehurst, NC. The property can be identified by Moore County Parcel Number# 24884. The property is owned by David and Molly Gwinn and the applicant is Davidson Building Services, Inc.

E. COA 19-049

This public hearing is to consider a request within the Pinehurst Historic District to replace the aluminum shutters and columns, remove fascia board trim, add false pillars, side rail and fence panels at 15 Beulah Hill Road in Pinehurst, NC. The property can be identified by Moore County Parcel Number# 15557. The owner is Craig and Margaret Ann Ellis and the applicant is Michael's Construction Company, Inc.

F. COA 19-051

This public hearing is to consider a request within the Pinehurst Historic District to restore the original front porch, restore the garage, add rear door entry porch cover and repaint at 5 Everett Road in Pinehurst, NC. The property can be identified by Moore County Parcel Number# 16447. The owner is Brandon Sowell and the applicant is Pinehurst Homes, Inc.

G. COA 19-041

This public hearing is to consider a request within the Pinehurst Historic District to construct a new garage, add shutters, front porch railing and columns and exterior lighting at 120 Woods Rd., Pinehurst, NC. The property can be identified by Moore County Parcel Number# 23528. The owners are Matthew and Lauren Chriscoe and applicant is Cribbs Construction Company.

IV. Review of Normal Maintenance and Minor Work items

A. Normal Maintenance and Minor Work Report for 4/16 to 5/15

V. Next Meeting Date

A. June 27, 2019

VI. Comments from Attendees

VII. Motion to Adjourn

Vision: The Village of Pinehurst is a charming, vibrant community which reflects our rich history and traditions.

Mission: Promote, enhance, and sustain the quality of life for residents, businesses, and visitors.

Values: Service, Initiative, Teamwork, and Improvement.



**APRIL 25, 2019 DRAFT MINUTES
ADDITIONAL AGENDA DETAILS:**

FROM:

Alex Cameron, Senior Planner

CC:

Gwendy Hutchinson

DATE OF MEMO:

5/15/2019

MEMO DETAILS:

Attached for your review are draft minutes from the April 25, 2019 meeting.

ATTACHMENTS:

Description

□ April 25, 2019 Draft HPC Minutes



**HISTORIC PRESERVATION COMMISSION
APRIL 25, 2019
ASSEMBLY HALL
395 MAGNOLIA RD.
PINEHURST, NORTH CAROLINA
4:00 PM**

The Pinehurst Historic Preservation Commission (HPC) held a regular meeting at 4:00 p.m., Thursday, April 25, 2019, in the Assembly Hall of Pinehurst Village Hall, 395 Magnolia Road, Pinehurst, North Carolina. The following Commission members were in attendance:

Molly Gwinn, HPC Chair
Terry Lurtz, HPC Member
Jim McChesney, HPC Member
John Taylor, HPC Member
Eric Von Salzen, HPC Member

HPC Member Not in Attendance:
Tom Schroeder, Vice-Chair

Staff In Attendance:
Kathy Liles, Senior Planner
Alex Cameron, Senior Planner
Gwendy Hutchinson, Planning Administrative Assistant

Approximately 3 attendees were also in attendance.

I. Call to Order

Molly Gwinn, Chair introduced the Commission members, staff and welcomed members of the audience. Chair Gwinn stated that the overview of the Commission is to approve Certificates of Appropriateness for new construction and Major Work and to do so by conducting hearings and Findings of Fact when applications come before the Commission. The mission of the Historic Preservation Commission is to take no action except to preserve what is congruous with the special character of the Village of Pinehurst Historic District. This special character to be preserved and enhanced is that of a growing and vibrant Village.

II. Approval of Minutes

March 28, 2019

Upon a motion by HPC Member Jim McChesney, seconded by Terry Lurtz, the board voted unanimously to approve the March 28, 2019 minutes.

III. Public Hearing

Upon a motion by HPC Member John Taylor, seconded by HPC Member Eric Von Salzen, the HPC Commission voted unanimously to recess the Regular Meeting and enter a Public Hearing A.

The following individuals were sworn into the public hearing; Kathy Liles, Senior Planner Michael Etowski, Applicant; and Michael Edwards, Applicant.

A. COA 19-34

This public hearing is to consider a request to construct a 28' x 30' garage in the rear yard at the end of the driveway and to make an 856 square foot addition to the residence located at 30 McFarland Rd., Pinehurst, NC. This property can be identified as Moore County LRK# 00029259. The owner is Michael Etowski and the applicant is Showcase Constrution Company.

Kathy Liles read portions of the staff report into the record and confirmed that adjacent property owners were notified and that the property had been properly posted.

Michael Etowski, the Applicant, was present to answer any questions or address any concerns of the HPC Commission. He confirmed that he would use 8 inch siding instead of 10 inch siding.

Upon a motion by HPC Member Eric Von Salzen, seconded by HPC Member John Taylor, the HPC Commission voted unanimously to close Public Hearing A and to re-enter their regular meeting.

Upon a motion by HPC Member Terry Lurtz, seconded by Eric Von Salzen, the HPC Commission unanimously voted to adopt Findings of Fact and to issue a Certificate of Appropriateness to construct a 28' x 30' garage in the rear yard at the end of the driveway and to make an 856 square foot addition to the residence at 30 McFarland Road by a vote of 5-0.

B. COA 19-35

This public hearing is to consider a request to expand a post and rail fence visible from Page Road at 75 Dalrymple Road, Pinehurst, NC. This property can be identified as Moore County LRK# 00016639. The owner and applicant is Michael Edwards.

Upon a motion by HPC Member John Taylor, seconded by HPC member Eric Von Salzen, the HPC Commission voted unanimously to recess its regular meeting and enter into Public Hearing B.

Kathy Liles read portions of the staff report into the record and confirmed that adjacent property owners were notified and that the property had been properly posted.

Michael Edwards, the Applicant, was present to answer any questions or address any concerns of the HPC Commission.

Upon a motion by HPC Commission Member John Taylor, seconded by HPC Member Eric Von Salzen, the HPC Commission voted unanimously to close Public Hearing B. and re-enter into the regular meeting.

Upon a motion by HPC Member Eric Von Salzen, seconded by HPC Member Jim McChesney, the HPC Commission voted unanimously to adopt the Findings of Fact and to issue a Certificate of Appropriateness to expand a post and rail fence visible from Page Road at 75 Dalrymple Road by a vote of 5-0.

IV. Review of Normal Maintenance and Minor Work Items

Review of Normal Maintenance and Minor Work Items

Kathy Liles, Senior Planner, presented the Staff Approvals Report on Normal Maintenance and Minor Work Items for Local Historic District for the time period of March 19, 2019, to April 15, 2019. The HPC Commission Members did not have any comments.

V. Next Meeting Date

Chair Molly Gwinn reminded the HPC Members that the next meeting date would be May 23, 2019.

VI. Comments from Attendees

There were no comments from attendees.

VII. Motion to Adjourn

Upon a motion by HPC Commission Member John Taylor, seconded by HPC Commission Member Eric Von Salzen, the HPC Commission voted unanimously to adjourn. The meeting adjourned at 4:35 pm.

A recording and videotape of this meeting are available on the Village website at www.vopnc.org

Respectfully Submitted,

*Gwendy Hutchinson
Planning and Inspections Administrative Assistant
Village of Pinehurst*

Vision: The Village of Pinehurst is a charming, vibrant community, which reflects our rich history and traditions. Mission: Promote, enhance, and sustain the quality of life for residents, businesses, and visitors. Values: Service, Initiative, Teamwork, and Improvement.



COA 19-052

ADDITIONAL AGENDA DETAILS:

This public hearing is to consider a request within the Pinehurst Historic District to construct a new Pinehurst Elementary School following demolition of the old school at 100 Dundee Road adjacent to the intersection with Kelly Road in Pinehurst, NC. The property can be identified by Moore County Parcel ID #24884. The property is owned by the Moore County Board of Education (Moore County Schools) and the applicant is Brent Covington, AIA (Ratio Design).

ATTACHMENTS:

Description

- ☐ Staff Report
- ☐ Application
- ☐ Staking Plan
- ☐ Roof Plan
- ☐ First Floor Plan
- ☐ Second Floor Plan
- ☐ Elevations

LOCAL HISTORIC DISTRICT APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS
STAFF REPORT

COA: 19-052 100 Dundee Rd Parcel ID# 00024884
Pinehurst Elementary School PIN # 856205186101

APPLICANT: Brent Covington, AIA, John Birath
PROPERTY OWNER(S): Moore County Schools (Moore Co. Schools)

RECEIVED: Revised 5/10/2019
MEETING DATE: 5/23/2019

ZONING DISTRICT: R-10
LHD STATUS: Contributing building - various build dates

ADDITIONAL APPROVALS/PERMITS NEEDED:

- ✓ ZONING APPROVAL
- ✓ BUILDING OFFICIAL

NATURE OF PROJECT: Moore County Schools proposes to build a new elementary school. The building with 119,094 square feet will be comprised of a classroom wing and gym/dining hall/media center wing. A full description of materials, style, massing, and scale is included on page 2 of the application.

FACTS

APPLICABLE SECTIONS OF STANDARDS AND GUIDELINES

STAFF ANALYSIS: The proposed school is to be constructed in the R-10 zoning district - a residential area. The proposed project is governmental and non-residential. The school campus abuts two streets and will be visible from both. The site will also include landscaping and fencing. The exterior of the building will be red brick with white aluminum windows. Horizontal shading devices are to be included within the windows. The roof is proposed to be gray standing metal seam. The foundation will be red brick. The site plan is included to assess fencing and landscaping. The guidelines in effect at the time of submittal include new residential construction or new construction in nonresidential zoning districts. While this project is in the Historic District, it does not cleanly fit into either of these two categories.

- A. SECTION 1.6.4.7 MAJOR WORK** - *A new school requires approval as a major work.*
- B. SECTION 3.3.2 New Construction and Additions Standard** - *New construction should be brick or clapboard. Consistent architectural features should be on all four side of the building. Roof types should be gambrel, hip or gable. Flat roofs are not allowed on new structures. Opening shall be in an ordered rhythm.*

The school consists of a brick L-shaped structure with the play area encapsulated in the rear by the two sides. Materials are predominantly brick. The metal roof is hipped and not flat. The top of the roof will rest at 144'10" and the mass will exceed the scale of homes around it. Massing will be symmetrical and efforts were made to provide for a more pedestrian scale including stepping back nodes and using contrasting material and sloping the roof to reduce building profile.

1. The proposed school will/will not be constructed of acceptable materials.
2. The proposed school does/does not demonstrate consistent architectural features.
3. The roof will/will not be of an acceptable design.
4. Building openings are/are not shown in an ordered rhythm.

C. Section 2.8.2 Roof Standards – *metal roofs, excluding copper must be earth-toned in hue.*

1. The proposed roof will/will not be earth toned in hue.

D. Section 2.17 Fences - *fencing should consist of appropriate materials at an appropriate height. Residential fences in residential neighborhoods are required to be wood picket or brick. The applicant proposed 4' aluminum metal fencing around the infiltration basin as a safety measure.*

1. Fencing will/will not consist of appropriate materials at an appropriate height.

FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. The proposed project will/will not be congruous with the Pinehurst Historic District.

LOCATION MAP





Application for Local Historic District

This form is required to be submitted for most work proposed within the Local Historic District. Please note that other applications may be required for your project in addition to this form. All major work projects require at least 10 sets of plans and applications for historic review. These sets may be reduced-size, as long as they are legible. The Historic Preservation Commission generally meets the 4th Thursday of each month; please refer to the schedule for any holiday changes. Submittals for the Historic Commission are required at least 3 weeks prior to any given meeting. Please note that most single family projects require review by Planning Staff first; non-residential projects require other technical staff review and possibly reviews by other boards. Please refer to the *Local Historic District Standards and Guidelines* and the Pinehurst Development Ordinance for requirements and standards.

Property Data

Property Owner(s): Moore County Schools - John Birath

Business Name (if applicable): Pinehurst Elementary

Tenant Name (if applicable): _____

Physical Address: 100 Dundee Road, Pinehurst, NC 28374

Mailing Address (if different): _____

Phone #: 910.947.2976 Ext. 100230 Mobile #: _____

Zoning District: R10 LRK #: 0024884 PIN #: 856205186101

Applicant/Contractor Data

Name: Brent Covington, AIA

Contractor License #: N/A

Phone #: 919.821.0805

E-mail Address (optional): _____

Mailing Address: 227 Fayetteville Street, Suite 301, Raleigh, NC 27601

Estimate Cost of Construction: \$ \$28,870,871.00

*Would you like your sets of plans returned to you from the Historic Commission? Yes: ☐ No: ☒

Planning and Inspections Department

395 Magnolia Rd - Pinehurst, North Carolina 28374
(910) 295-2581- Fax (910) 295-1396 - www.villageofpinehurst.org



Application for Local Historic District

Description of Project:

The project proposes full demolition of all the existing structures currently on site. The new construction will be a total of 119,094 square feet comprised of a two-story Classroom Wing and Gym/Dining/Media Center Wing.

The primary exterior finish will be norman-type red brick throughout. The windows will be aluminum with a white powder coat finish. The roof will be a standing seam metal roof in a dark gray finish.

The Classroom Wing will front Dundee Road with the massing organized in a traditional symmetrical form. Given the difference of building type in relation to neighboring structures, several methods were applied to provide a more pedestrian scale, including: breaking up the building into massing 'nodes' with the Learning Commons stepping back & expressed in white aluminum storefront; developing a rational composition of brickwork based on historic precedents; and strategically crafting the sloped roofs to reduce the overall building profile. The Classroom Wing includes teaching spaces for grades Pre-K through 5th grade, Administration directly adjacent to the Main Entry, and Student Support. The Gym Wing is tucked behind the Classroom Wing with the massing being dictated by volumetric requirements of the program. Connected by Lobby Connector which will serve as a public entry after school hours, this wing includes Robotics, Art, Music, Media Center, Dining, Kitchen, and the Gym.

The relationship of the Classroom Wing to the Gym Wing is arranged in an asymmetrical "L" footprint to provide a buffer between Dundee Road/Kelly Road and the outdoor play areas and multipurpose field. The main interior corridors intersect at Administration and Student Support to provide clear sight lines for teachers and staff. Windows are organized base on programmatic spaces and a design philosophy to provide natural light to all teaching spaces. Integral horizontal shading devices will match the window frame finish (white) and are used to reduce solar heat gain as well as reduce glare.

After a process of research through observation and documentation, the following aspects of the design were derived from historical significant structures throughout the village:

1. The roof forms are a collection of hip, gabled, and shed roofs—appropriate to the historic character of Pinehurst, but also one of the most durable pitched roof materials.
2. Overall window proportions and fenestration are derived from a catalogue of precedents in the community.
3. Implementation of 1/3rd running bond pattern, English bond pattern, and brick reveals in the façade composition based on reoccurring brickwork details in the community.

The formal approach to the Main Entry of the school runs from the historic old town paths parallel at Dundee Road to the Classroom Wing. This walk will be lined with the community school garden featuring the refurbished existing cupola (which is currently on site), a raised pedestrian friendly table, and hip roof canopy. The colonnade along student pick-up and drop-off takes cues from local hotel resorts by using a paired column design with a brick base.

Planning and Inspections Department

395 Magnolia Rd - Pinehurst, North Carolina 28374

(910) 295-2581- Fax (910) 295-1396 - www.villageofpinehurst.org



**Application for
Local Historic District**

EXTERIOR MATERIAL COLOR FORM

EXTERIOR	MATERIAL	COLOR
Front Elevation	Brick	Red
Rear Elevation	Brick	Red
Right Elevation	Brick	Red
Left Elevation	Brick	Red
Trim	N/A	
Windows	Alum	White
Chimney	N/A	
Foundation	Brick	Red
Front Door	Alum./Glass	White
Shutters	N/A	
Garage Door	N/A	
Roof	Standing Seam Metal	Gray
Roof Exhaust Vents		
Front Porch	N/A	
Deck	N/A	
Patio	N/A	
Sidewalk	Concrete	Gray
Sky Lights	None	
Driveway	Asphalt	Black
House Number	Alum.	Black

Signature: _____ Date: _____



Application for Local Historic District

Office Use Only

Project Type: ☐ Normal Maintenance ☐ Minor Work ☐ Major Work

Current Status: ☐ Contributing ☐ Non-contributing ☐ Vacant

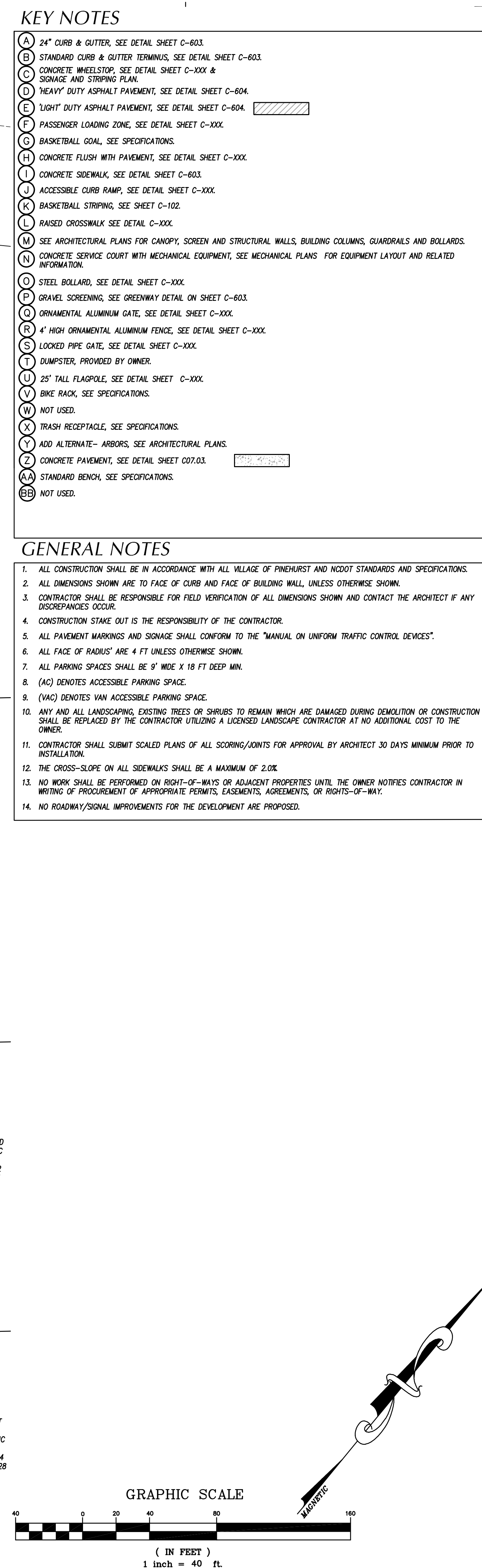
COA# _____ Date: _____ Staff: _____ HPC Mtg(s): _____

Other required approvals: _____

Conditions: _____

Planning and Inspections Department

395 Magnolia Rd - Pinehurst, North Carolina 28374
(910) 295-2581 - Fax (910) 295-1396 - www.villageofpinehurst.org
Page 4 of 4



Owner
Moore County Schools
Highway 15-501 South
Carthage, NC 28327
910-947-2976

Architect
RATIO Architects, Inc.
227 Fayetteville Street, Suite 301
Raleigh, NC 27601

Structural Engineer
LHC Structural Engineers
1331 Sunday Dr
Raleigh, NC 27607
919-832-5587


Mechanical / Electrical Engineer
Dewberry Engineers, Inc.
2610 Wycliff Road, Suite 400
Raleigh, NC 27607
919-881-9939

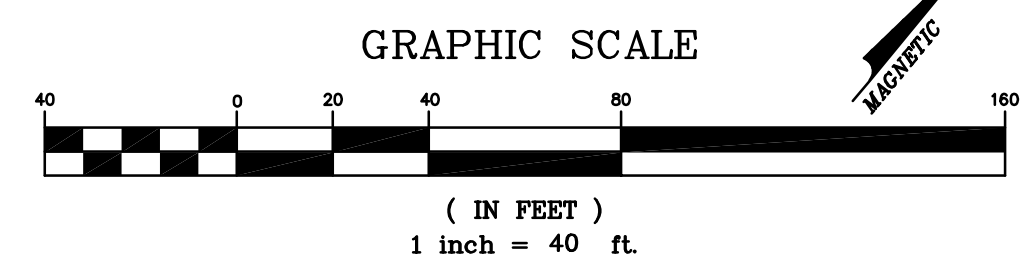
Civil Engineer
CLH Design, P.A.
400 Regency Forest Dr
Cary, NC 27518
919-319-6716

Roof Consultant
Rick Nuhn Engineering
13 Thayer Circle
Greensboro, NC 27407
336-855-1182

Food Service
FoodDesign Associates, Inc.
5828 Oak Drive
Charlotte, NC 28227
704-545-6151

**PRELIMINARY
NOT FOR
CONSTRUCTION**

	RATIO
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PROJECT NO.	02000.000
SHEET TITLE	
STAKING PLAN	
SHEET NUMBER	C-100



PINEHURST
ELEMENTARY
SCHOOL
100 Dundee Road
Pinehurst, NC 28374

Owner
Moore County Schools
Highway 15-501 South
Carthage, NC 28327
910-947-2976

Architect
RATIO Architects, Inc.
227 Fayetteville Street, Suite 301
Raleigh, North Carolina 27601
919-821-0805

Structural Engineer
LHC Structural Engineers
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Raleigh, NC 27607
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Mechanical / Electrical Engineer
Dewberry Engineers, Inc.
2610 Wycliff Road, Suite 400
Raleigh, NC 27607
919-881-9939

Civil Engineer
CLH Design
400 Regency Forest Dr #120
Cary, NC 27518
919-319-6716

Roofing Consultant
Rick Nuhn Engineering
Thayer Circle
Greensboro, NC 27407
336-855-1182

Food Service
FoodDesign Associates, Inc.
5828 Oak Drive
Charlotte, NC 28227
704-545-6151

SEAL | DATE 04/04/19

SHEET ISSUE
1 BOA - VARIANCE 04/04/19



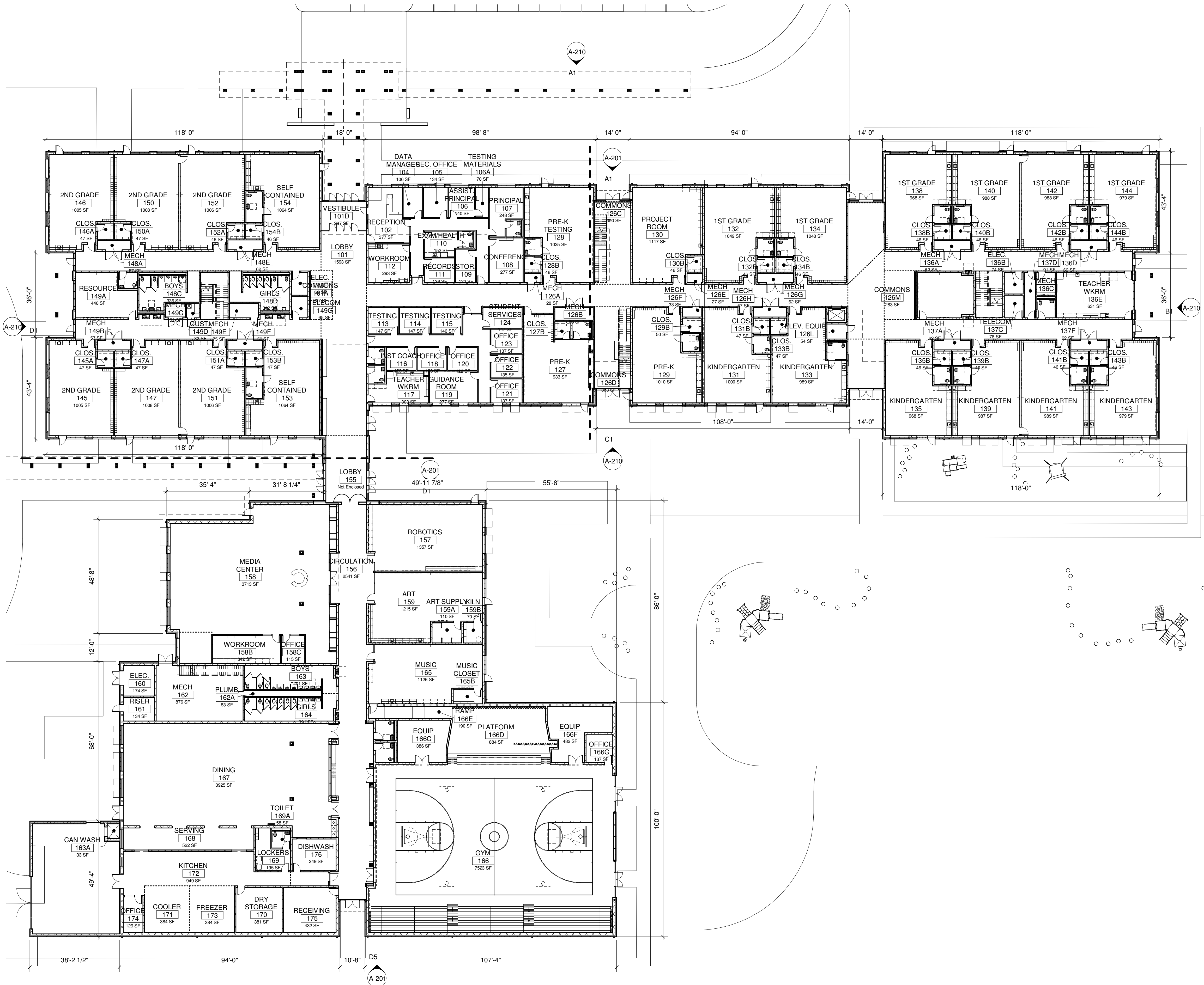
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PROJECT NO. 18031.000

SHEET TITLE
**FIRST FLOOR PLAN -
COMPOSITE**

SHEET NUMBER

A-110

NOT FOR CONSTRUCTION



FIRST LEVEL FLOOR PLAN
3/64" = 1'-0"

4/23/2019 4:38:28 PM

100 Dundee Road
Pinehurst, NC 28374

Owner
Moore County Schools
 Highway 15-501 South
 Carthage, NC 28327
 910-947-2976

Architect
RATIO Architects, Inc.
 227 Fayetteville Street, Suite 301
 Raleigh, North Carolina 27601
 919-821-0805

Structural Engineer
LHC Structural Engineers
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400 Regency Forest Dr #120
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Greensboro, NC 27407
336-855-1182

Food Service

FoodDesign Associates, Inc.
5828 Oak Drive
Charlotte, NC 28227
704-545-6151

SEAL | DATE 04/04/19

SHEET ISSUE

1	BOA - VARIANCE	04/04/19
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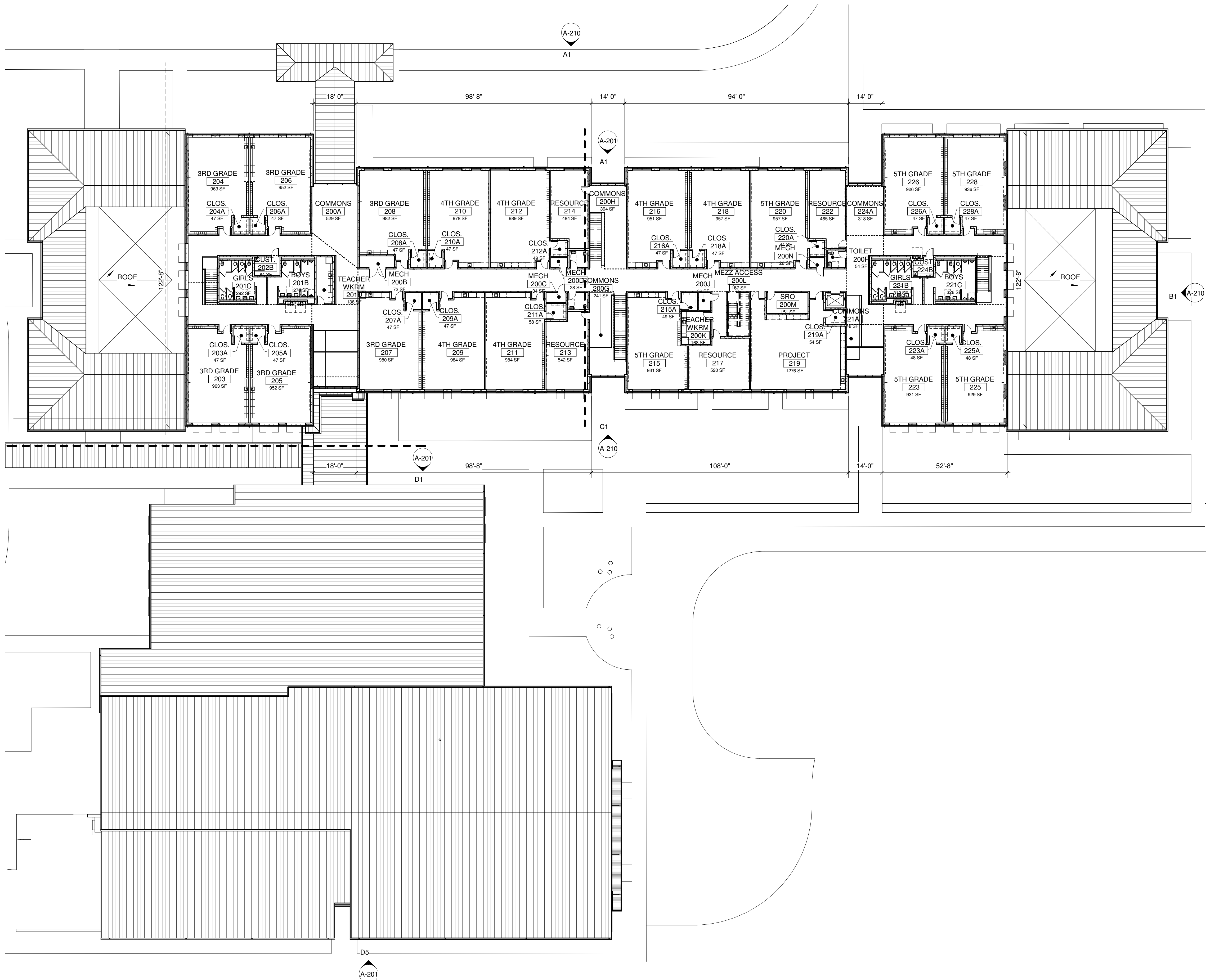
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PROJECT NO.

SHEET TITLE
**SECOND FLOOR
PLAN - COMPOSITE**

SHEET NUMBER

A-111



4/23/2019 4:38:31 PM

A1
A-111

SECOND LEVEL FLOOR PLAN

$$3/64'' = 1'-0''$$

NOT FOR CONSTRUCTION

100 Dundee Road
Pinehurst, NC 28374

Owner
Moore County Schools
Highway 15-501 South
Carthage, NC 28327
910-947-2976

Architect
RATIO Architects, Inc.
227 Fayetteville Street, Suite 301
Raleigh, North Carolina 27601
919-821-0805

Structural Engineer
LHC Structural Engineers
3331 Sunday Dr #121
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Mechanical / Electrical Engineer
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CLH Design
400 Regency Forest Dr #120
Cary, NC 27518
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Rick Nuhn Engineering
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Greensboro, NC 27407
336-855-1182

Food Service
FoodDesign Associates, Inc.
5828 Oak Drive
Charlotte, NC 28227
704-545-6151

SEAL | DATE 04/04/19

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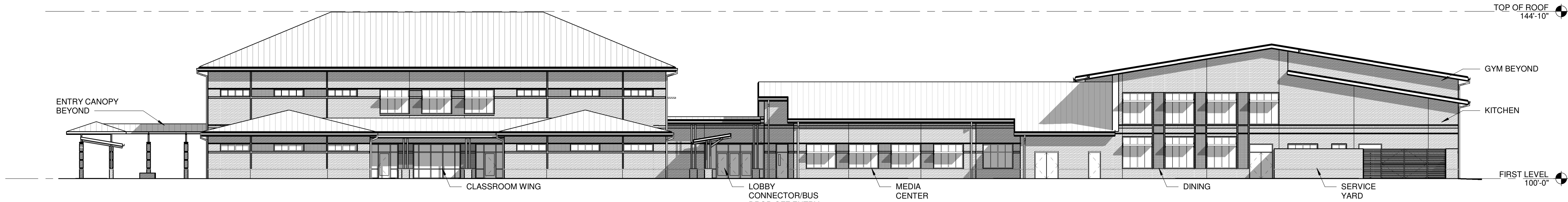
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PROJECT NO.	18031.000
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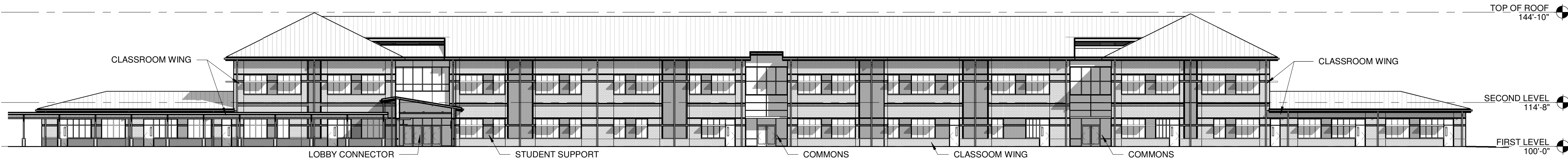
SHEET TITLE
EXTERIOR
ELEVATIONS

SHEET NUMBER

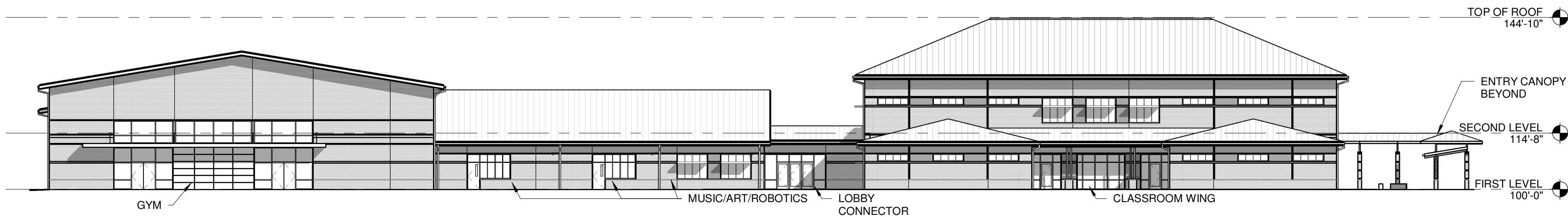
A-210



EXTERIOR ELEVATION - WEST - COMPOSITE



EXTERIOR ELEVATION - SOUTH - COMPOSITE @
CLASSROOM WING

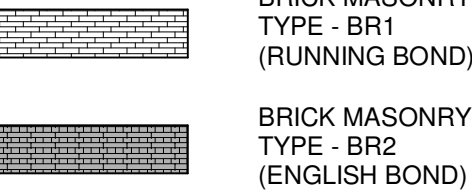


EXTERIOR ELEVATION - EAST - COMPOSITE



EXTERIOR ELEVATION - NORTH - COMPOSITE @ CLASSROOM WING

BRICK TYPE LEGEND



NOT FOR CONSTRUCTION

4/23/2019 4:40:17 PM



COA 19-050

ADDITIONAL AGENDA DETAILS:

This public hearing is to consider a request within the Pinehurst Historic District to demolish a small accessory residence located on the rear of the property at 600 Linden Road in Pinehurst, NC. The property can be identified by Moore County Parcel Number# 16367. The owner and applicant is Riley and Walker Homes, LLC.

ATTACHMENTS:

Description

- ☐ Staff Report
- ☐ Application
- ☐ Site Plan

LOCAL HISTORIC DISTRICT APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS
STAFF REPORT

COA: 19-050
Demolition

600 Linden Road

Parcel ID # 00016367
PIN # 855210354455

APPLICANT: Riley and Walker Homes, LLC
PROPERTY OWNER(S): Riley and Walker Homes, LLC

RECEIVED: 4/16/2019
MEETING DATE: 5/23/2019

ZONING DISTRICT: R-10
LHD STATUS: Contributing, year built 1939

ADDITIONAL APPROVALS/PERMITS NEEDED:

- ✓ ZONING APPROVAL
- ✓ BUILDING OFFICIAL
- ✓ ASBESTOS REPORT

NATURE OF PROJECT:

- Demolition of guesthouse

FACTS

APPLICABLE SECTIONS OF STANDARDS AND GUIDELINES

STAFF ANALYSIS: The principle dwelling at 600 Linden Road was built in the mid-1920's and has since been removed with approval of the HPC. At the time of that approval, the applicant wished to attempt to save the guesthouse. However, the builder has since deemed that to be impractical based on condition of the structure. The original survey of the property for listing noted that the 3-bay guesthouse is frame in construction with six over six windows, shutters and a cupola. Of particular note is the hedgerow along Linden Road which this request will not affect.

A. SECTION 1.6.4.7 MAJOR WORK - *Demolition is considered to be major work.*

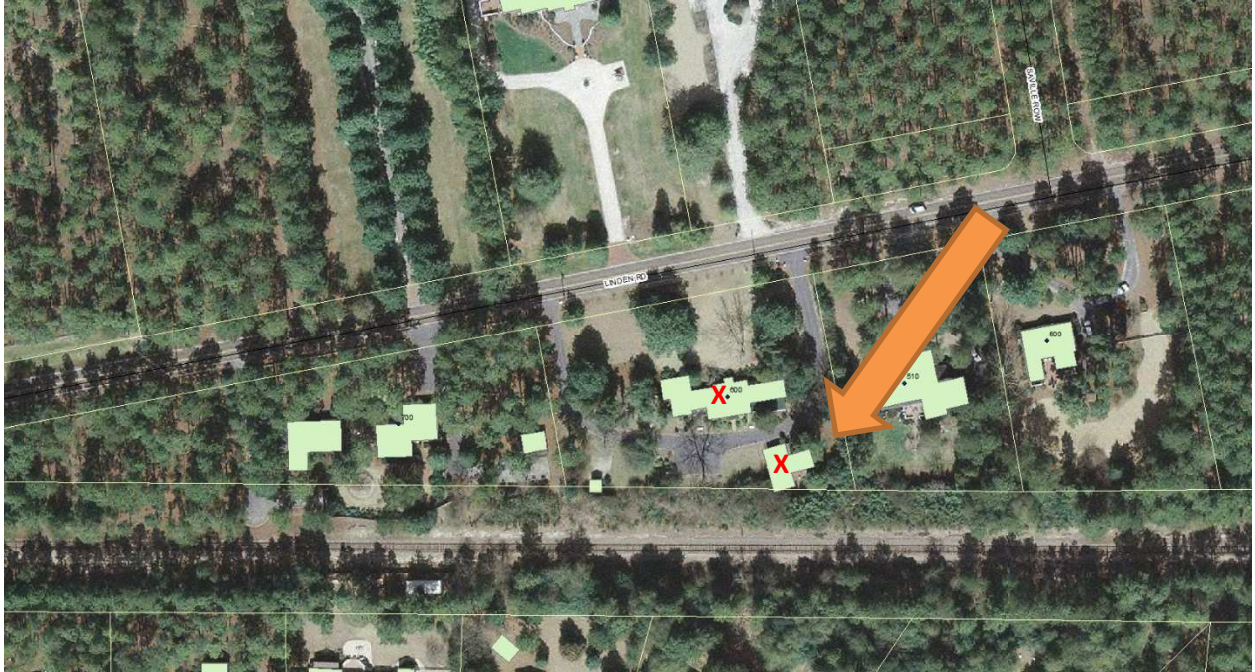
B. SECTION 3.5 - DEMOLITION - *Demolition of buildings in the Village is discouraged except to protect public safety. The HPC may order a delay of up to 365 days while it considers several points: can the building be moved, does it contribute to historic character of the Village, are there owners will to consider restoration, can it be adapted to the owner's needs, and is it structurally feasible for reuse. In this instance, the owner has attempted to save the structure for reuse but has found that saving the structure is not feasible. The building is on grade construction and would be very difficult to move. The structure is tucked away in the rear of the property and is not visually contributing to the district at this time.*

1. The structure **is/is not** able to be moved.
2. The structure **does/does not** contribute to the character of the Village.
3. The owners **are/are not** willing to restore the building.
4. The building **can/cannot** be adapted to future needs
5. The building **is/is not** structurally feasible for reuse

FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. Removal of the guesthouse **will/will not** be congruous with the Pinehurst Historic District.

LOCATION





APR 16 2019

**Application for
Local Historic District**
(revised 3/14/17)

This form is required to be submitted for most work proposed within the Local Historic District. Please note that other applications may be required in addition to this form. All major work projects require at least 10 sets of plans and applications for review. Sets may be reduced-size, as long as they are legible. The Historic Preservation Commission generally meets the 4th Thursday of each month; please refer to the schedule for any holiday changes. Submittals for the HPC are required at least 3 weeks prior to any meeting. Single family projects require review by Planning Staff first; non-residential projects require other technical staff review and possibly reviews by other boards. Refer to the *Local Historic District Standards and Guidelines* and the Pinehurst Development Ordinance for requirements.

Property Data

Property Owner(s): Riley & Walker Homes, LLC Physical Address: 600 Linden Rd

Business/Tenant Name (if applicable): _____

Mailing Address (if different): _____

Telephone: 919-601-1217 Zoning District: R-30 Parcel ID#: 00016367

Applicant/Contractor Data

Name: Riley & Walker Homes, LLC Address: PO Box 3248, Pinehurst, NC 28374

Contractor License #: 76980 Telephone: 919-601-1217

E-mail Address (optional): Rileyandwalkerhomes@gmail.com

Description of Project: Demolish existing accessory structure



EXTERIOR MATERIAL COLOR FORM

Front Elevation		
Left Elevation		
Chimney		
Shutters		
Front Porch		
Sky Lights		

Signature: aden Rile Date: 4/16/2019

****Office Use Only**

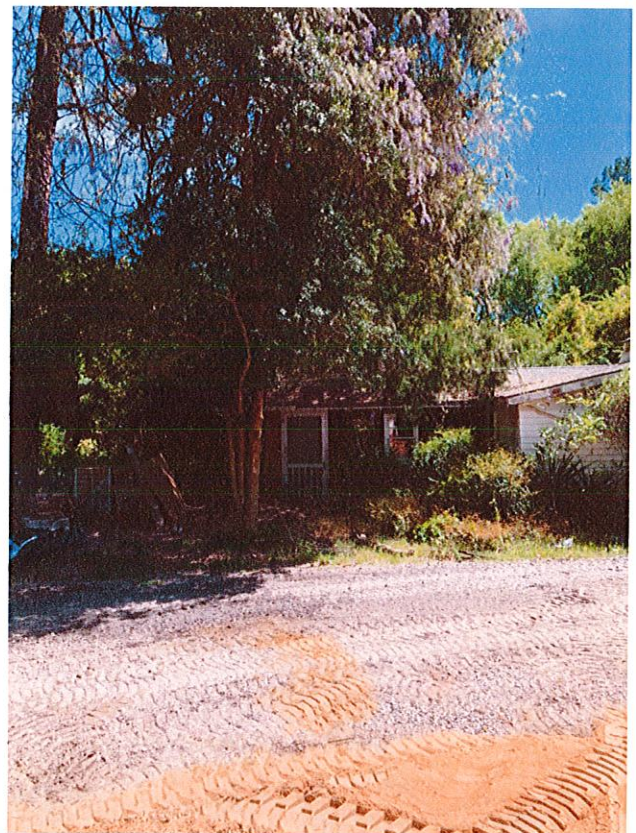
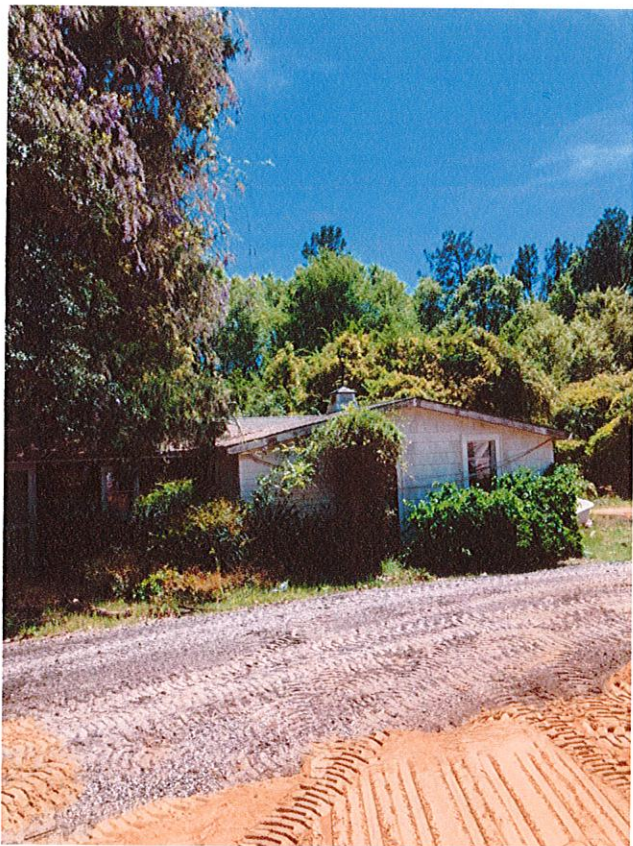
Project Type: Normal Maintenance Minor Work Major Work

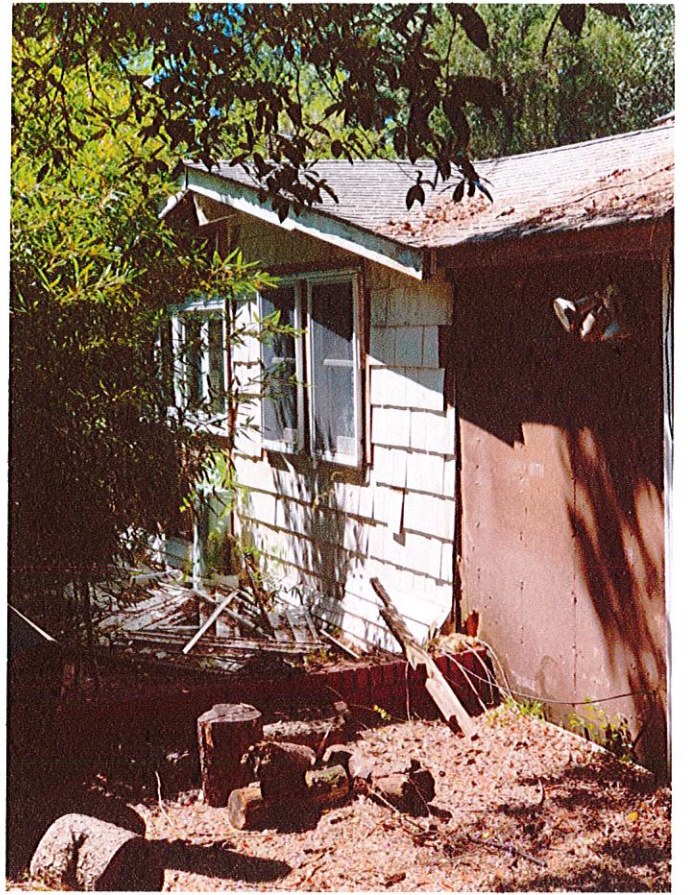
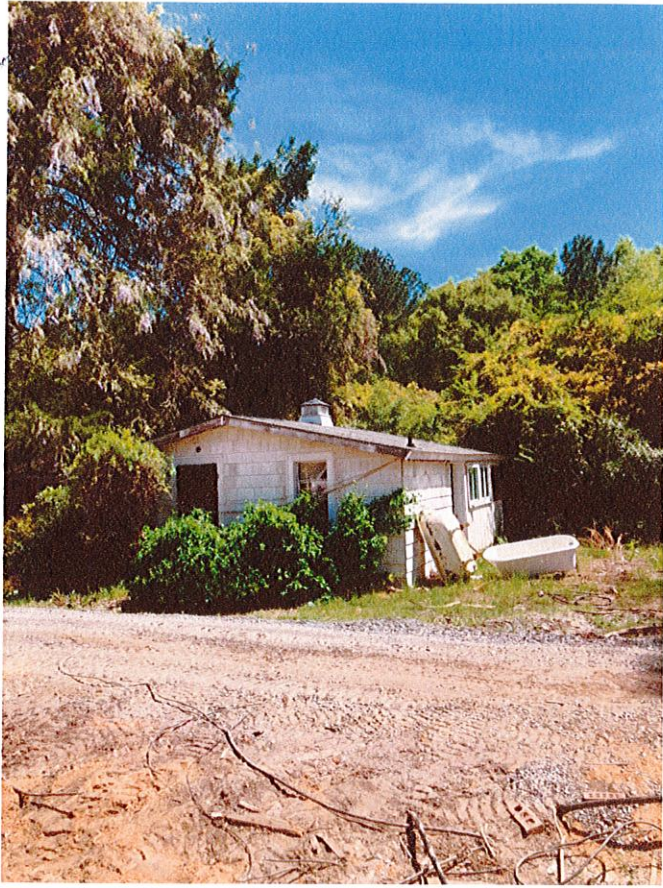
Current Status: Contributing Non-contributing Vacant

COA# Date: Staff: HPC Mtg(s):

Other required approvals: _____

Conditions: _____







COA 19-040

ADDITIONAL AGENDA DETAILS:

This public hearing is to consider a request within the Pinehurst Historic District to construct a detached garage, add a first floor addition to the cottage rear, paint, a new covered porch, and a new roof on the main house and cottage at 275 Dundee Road in Pinehurst, NC. The property can be identified by Moore County Parcel Number# 30210. The owners are Robert and Lisa Hammond and the applicant is Cribbs Construction Company.

ATTACHMENTS:

Description

- ☐ Staff Report
- ☐ Application
- ☐ Site Plan and Elevations

LOCAL HISTORIC DISTRICT APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS
STAFF REPORT

COA: 19-040 275 Dundee Rd Parcel ID# 00030210
Garage and Home Addition PIN # 856205293228

APPLICANT: **Cribb's Construction Company**
PROPERTY OWNER(S): Matthew and Lauren Chriscoe

RECEIVED: 5/2/2019
MEETING DATE: 5/23/2019

ZONING DISTRICT: **R-10**
LHD STATUS: Contributing building - 1924

ADDITIONAL APPROVALS/PERMITS NEEDED:

- ✓ **ZONING APPROVAL**
- ✓ **BUILDING OFFICIAL**

NATURE OF PROJECT: The applicant proposes to attach an existing outbuilding with a covered walkway and construct a new 778 SF detached garage (revised from original application), add a first floor addition to the rear of the building, paint, replace roof on main house and cottage, and install a new covered front porch.

FACTS

APPLICABLE SECTIONS OF STANDARDS AND GUIDELINES

STAFF ANALYSIS: *Extensive modifications to the structure and outbuildings are proposed. Some will be visual from the street, others will occur to the rear. The paint color will shift from yellow to white with a copper metal roof on the front porch. The remainder of the roof is proposed to be architectural shingles.*

- A. SECTION 1.6.4.7 MAJOR WORK** – *The proposed work includes additions not considered to be minor.*
- B. SECTION 2.16.2 – CARRIAGE HOUSES, GARAGES, AND OUTBUILDING STANDARDS** – *Proportions of new garages should be compatible with proportions of the main house.*
1. *The proportion of the proposed garage/guesthouse will/will not be compatible with the proportions of the main house.*

New garages must use traditional roof forms, materials and detail compatible with the main building or historic district. The applicant proposes brick to match the house and fiber cement lapped siding. The main building has a mixture of windows with the most

common four over four. The garage plans show two over three vinyl covered wood windows.

*The proposed garage/guesthouse **will/will not** use traditional roof forms, materials and detail.*

C. SECTION 2.6.1 PORCHES, ENTRANCES AND BALCONIES – *Retain and preserve all architectural features that are character defining elements of porches, entrances and balconies including piers, columns, pilasters, balustrades, steps, brackets, soffit and trim.*

1. The addition of the front porch **will/will not** be inconspicuous.
2. The addition of the front porch **will/will not** be compatible with the neighborhood defining features.

ADDITION TO MAIN DWELLING:

D. SECTION 3.1.2.1 ADDITIONS STANDARDS – *Additions shall be located as inconspicuously as possible, preferably on rear elevations. Both the front and the rear of the main house will change with the most extensive change on the rear.*

1. The proposed addition **will/will not** be inconspicuous and **will/will not** be on the rear elevation.

E. SECTION 3.1.2.2 ADDITIONS STANDARDS – *Additions must be compatible with the original buildings in terms of size, scale, color, materials and character.*

1. The proposed addition **will/will not** be of similar scale and character as the existing building.
2. The proposed addition **will/will not** consist of compatible materials and colors to the existing building.
3. The proposed work/structures **will/will not** be compatible with neighboring buildings.

F. SECTION 3.1.2.3 ADDITIONS STANDARDS – *Roof forms are particularly important and shall blend with original buildings.*

1. The rooflines of the proposed addition **will/will not** blend with the original building.

G. SECTION 3.1.2.4 ADDITIONS STANDARDS – *Windows in additions shall be similar to those in the original buildings in their proportions, spacing, muntins, and materials.*

1. The windows in the proposed addition **will/will not** be similar to those in the original building.

H. SECTION 3.1.2.5 ADDITIONS STANDARDS – *Additions shall not be taller than the original buildings.*

1. The proposed addition **will/will not** be taller than the original building.

I. **SECTION 3.1.2.6 ADDITION STANDARDS** – *Foundations and eaves or major horizontal elements shall generally align on building and their additions.*

1. The proposed addition **will/will not** have foundations and eaves that generally align with the existing building.

FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. The proposed project **will/will not** be congruous with the Pinehurst Historic District.

LOCATION MAP





Application for Local Historic District

This form is required to be submitted for most work proposed within the Local Historic District. Please note that other applications may be required for your project in addition to this form. All major work projects require at least 10 sets of plans and applications for historic review. These sets may be reduced-size, as long as they are legible. The Historic Preservation Commission generally meets the 4th Thursday of each month; please refer to the schedule for any holiday changes. Submittals for the Historic Commission are required at least 3 weeks prior to any given meeting. Please note that most single family projects require review by Planning Staff first; non-residential projects require other technical staff review and possibly reviews by other boards. Please refer to the *Local Historic District Standards and Guidelines* and the Pinehurst Development Ordinance for requirements and standards.

Property Data

Property Owner(s): Robert and Lisa Hammond

Business Name (if applicable): _____

Tenant Name (if applicable): _____

Physical Address: 275 Dundee Road

Mailing Address (if different): 4901 Salem Bridge Road, Holly Springs, NC 27540

Phone #: 919-796-8454 Mobile #: _____

Zoning District: R10 LRK #: 00030210 PIN #: 856205293228

Applicant/Contractor Data

Name: Cribbs Construction Company

Contractor License #: 71829

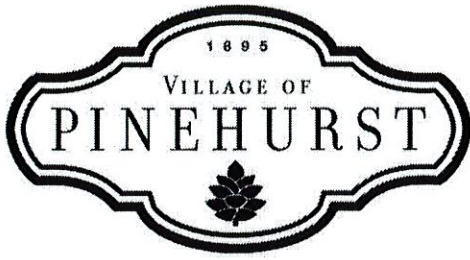
Phone #: 910-528-2501

E-mail Address (optional): russ.cribbs@gmail.com

Mailing Address: 9988 Aberdeen Road, Aberdeen, NC 28315

Estimate Cost of Construction: \$ 275,000

*Would you like your sets of plans returned to you from the Historic Commission? Yes: ☐ No: ☒



Application for Local Historic District

Description of Project:

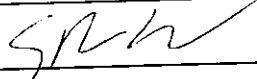
- 1) Construct a detached garage **REVISED**
- 2) Addition: enlarge kitchen and add laundry room
- 3) Current Main House: Painting, front porch, new roof, interior renovations
- 4) Cottage: new roof



Application for Local Historic District

EXTERIOR MATERIAL COLOR FORM

EXTERIOR	MATERIAL	COLOR
Front Elevation	Cedar on house/addition & fiber cement lap siding on garage	Maison Blanche SW 7525
Rear Elevation	Cedar on house/addition & fiber cement lap siding on garage	Maison Blanche SW 7525
Right Elevation	Cedar on house/addition & fiber cement lap siding on garage	Maison Blanche SW 7525
Left Elevation	Cedar on house/addition & fiber cement lap siding on garage	Maison Blanche SW 7525
Trim	Wood	Alabaster SW 7008
Windows	Wood / Vinyl (new)	White
Chimney	Cedar Shakes	Maison Blanche SW 7525
Foundation	brick (match existing)	red
Front Door	Wood	Provential
Shutters	N/A	N/A
Garage Door	Steel	White
Roof	Certaanteed Architectural Shingles	Weathered Wood
Roof Exhaust Vents	PVC	Black
Front Porch	Metal Roof	Copper
Deck	n/a	n/a
Patio	n/a	n/a
Sidewalk	existing pavers	red/brown
Sky Lights	n/a	n/a
Driveway	existing	bluestone
House Number	metal	Black

Signature:  Date: May 2, 2019



Application for Local Historic District

Office Use Only

Project Type: ☐ Normal Maintenance ☐ Minor Work ☒ Major Work
Current Status: ☒ Contributing 1924 ☐ Non-contributing ☐ Vacant
COA# 19-040 Date: _____ Staff: KPL HPC Mtg(s): 5/23/19
Other required approvals: _____
Conditions: _____



Application for
Local Historic District

Description of Project:

Covered Walkway:

- Asphalt shingled roof to match structure
- 4x4 columns with Mosaic trim 1x8 - white
- 4x8 Allura (fiber-cement) ceiling - white

Planning and Inspections Department

395 Magnolia Rd - Pinehurst, North Carolina 28374
(910) 295-2581 - Fax (910) 295-1396 - www.villageofpinehurst.org
Page 2 of 4



Application for
Local Historic District

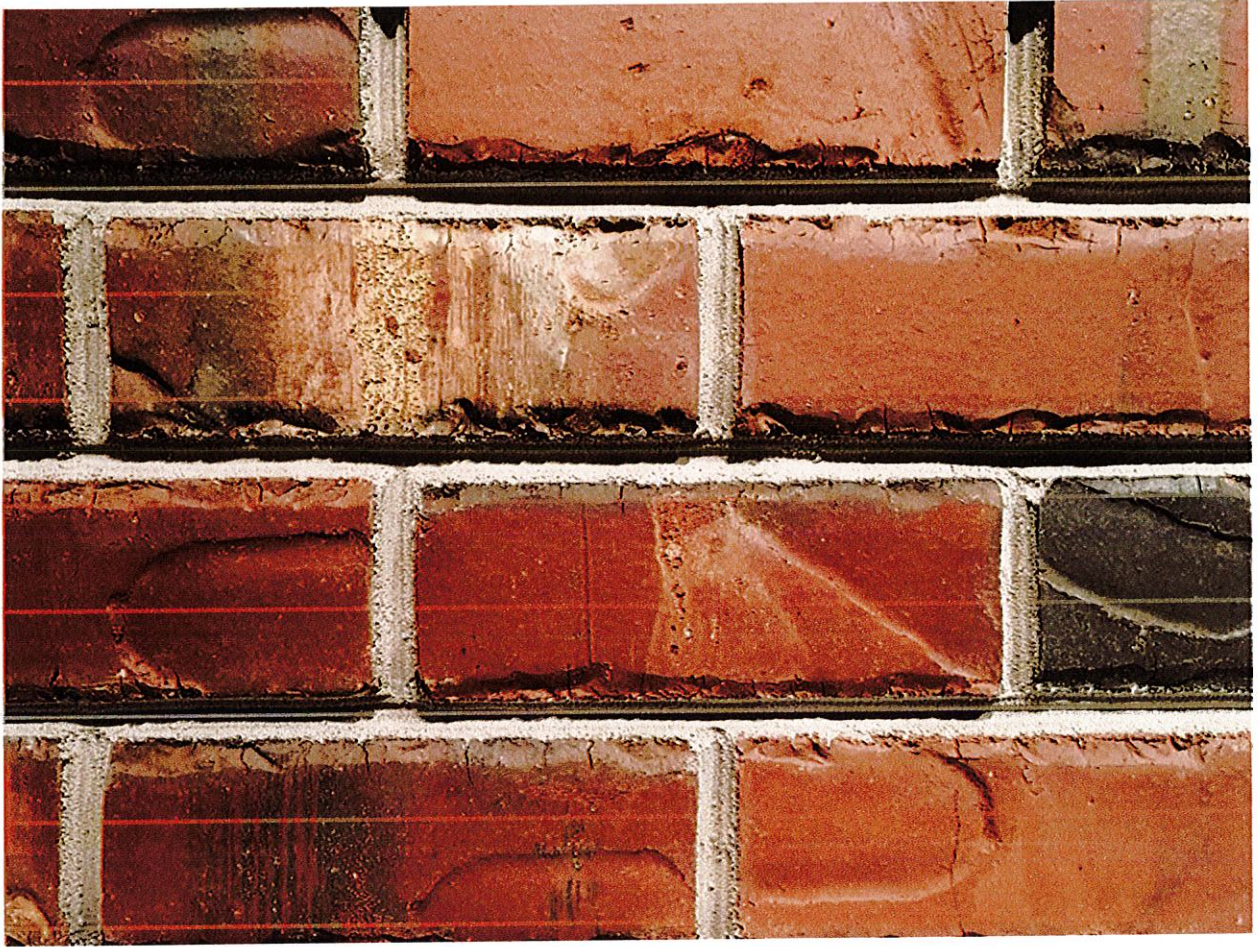
EXTERIOR MATERIAL COLOR FORM

EXTERIOR	MATERIAL	COLOR
Front Elevation		
Rear Elevation		
Right Elevation		
Left Elevation		
Trim		
Windows		
Chimney		
Foundation		
Front Door		
Shutters		
Garage Door		
Roof		
Roof Exhaust Vents		
Front Porch		
Deck		
Patio		
Sidewalk		
Sky Lights		
Driveway		
House Number		

Signature: _____

Date: _____

120 WOODS RD



Scottsdale Brick by Lee Brick



SURVEY FOR
ROBERT S. HAMMOND
& WIFE
LISA A. HAMMOND
LOT NOS. 2803, 2804 & ADDITIONAL PARCEL
OLD VILLAGE SECTION OF PINEHURST
MINERAL SPRINGS TOWNSHIP, MOORE COUNTY,
PINEHURST, NORTH CAROLINA
NOVEMBER 18, 2003 -S- SCALE 1"=20'
STEPHEN R. SHEFFIELD & ASSOCIATES, P.A.
1680 NC HWY 5, SUITE NO. 170
ABERDEEN, NORTH CAROLINA



I certify that this map was drawn under my supervision from an actual survey made under my supervision. That the boundaries not surveyed are indicated as drawn from information shown hereon. That the ratio of precision or positional accuracy is 1/10,000 and that this map meets the requirements of The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56-1600).
Further:
I hereby certify that the premises shown & described hereon, do not lie in a FEMA designated 100 year flood plain area.

REFERENCE
DEED BOOK 4481 PAGE 445
MOORE COUNTY REGISTRY
ACREAGE DETERMINED
BY COORDINATE METHOD

NOT INTENDED TO BE PREPARED
FOR RECORDATION IN ACCORDANCE
WITH G.S. 47-30 AS AMENDED
CORPORATE LICENSE NO. C-1587

S.R. SHEFFIELD, PLS NO. 1365
DATE: JUNE 29, 2018

- UNLESS OTHERWISE DENOTED:
- EXISTING IRON STAKE
 - EXISTING CONCRETE MONUMENT
 - SET CONCRETE MONUMENT
 - SET IRON STAKE
 - SQUARE FOOTAGE
 - UTILITY POLE
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT
 - CATCH BASIN
 - SANITARY SEWER MANHOLE
 - POWER SERVICE STUB
 - SEWER SERVICE STUB
 - TELEPHONE SERVICE STUB
 - CABLE TV SERVICE STUB

—●— FENCE
—●— SILT FENCE

CATHOLIC CHURCH
PROPERTY

129.93'
N49°06'01"E

100.00'
S49°06'01"W
TIE LINE

SHED

2803

2804

2802

28.212 Sq. Feet
0.65 Acres

OUT BUILDING

to be covered

DECK

205.20'
N40°12'26"W

SAT DISH

SPIGOT

New Garage / Shop
778 Sq. Ft. Impervious

S40°44'34"E
225.87'

1-STORY FRAMED
774 Sq. Ft. ADDITION

1-STORY FRAMED DWELLING

BRICK WALK

BLUE PAINTED LINE

ug oil tank fill vent

128.16'
S55°06'09"E
TIE LINE

DUNDEE ROAD

GRAVEL DRIVE

RECORD MAP

NORTH

CATHOLIC CHURCH
PROPERTY

OLD WALL



DAVID NICHOLS DESIGN

David A. Nichols
Anderson Nichols Design
1744 NC Hwy 5, Suite C
Aberdeen, NC 28315
410-215-4901

Anderson Nichols Design and David A. Nichols assume no liability for any home constructed from this plan. It is the responsibility of the purchaser to perform the following duties regarding the actual construction:
1) Builder or contractor must verify all dimensions prior to proceeding with construction.
2) Contractor must verify compliance with all local building codes in the area where the home is to be constructed.
3) Plans indicate locations only, engineering reports should be obtained for actual site conditions.
Caution must be exercised in making any changes in this plan. Only qualified Designers, Architects, Contractors or Builders should attempt modifications, as even minor changes in one area of the house could lead to major problems in another area. The designers have made every attempt to ensure that these designs meet or exceed all state and local codes.

Drawings and Specifications are instruments of service and shall remain the property of Anderson Nichols Design.

Nichols Design, whether the project for which they are intended is executed or not, and may not be used on other projects or extensions of this project except by written agreement with the design.

Drawn By	Checked By	Reviewed By	Project No.	Revision	Date
David Nichols	D. Nichols	R. Cribbs	1744 NC Hwy 5, Suite C	Revision 2	03/10/2019
David Nichols	R. Cribbs	R. Cribbs	1744 NC Hwy 5, Suite C	Revision 1	03/10/2019
David Nichols	R. Cribbs	R. Cribbs	1744 NC Hwy 5, Suite C	Revision 1	03/10/2019

Project Name

Lot Nos. 2803, 2804 & Additional Parcel
Old Village Section of Pinehurst
Mineral Springs Twp., Moore Co.
Pinehurst, North Carolina

Project No.

Proposed Site-Residence Addition & Shop
Existing Site - Legend
Lot Data - Vicinity Map

Scale

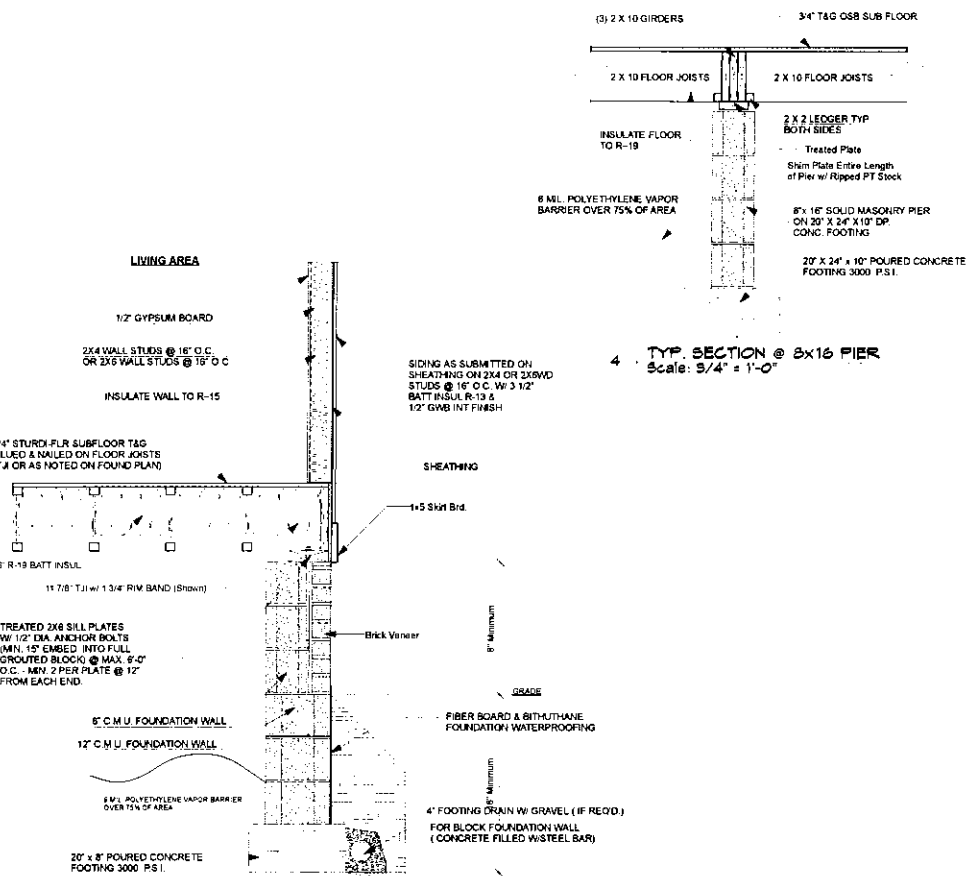
1" = 20' - 0"

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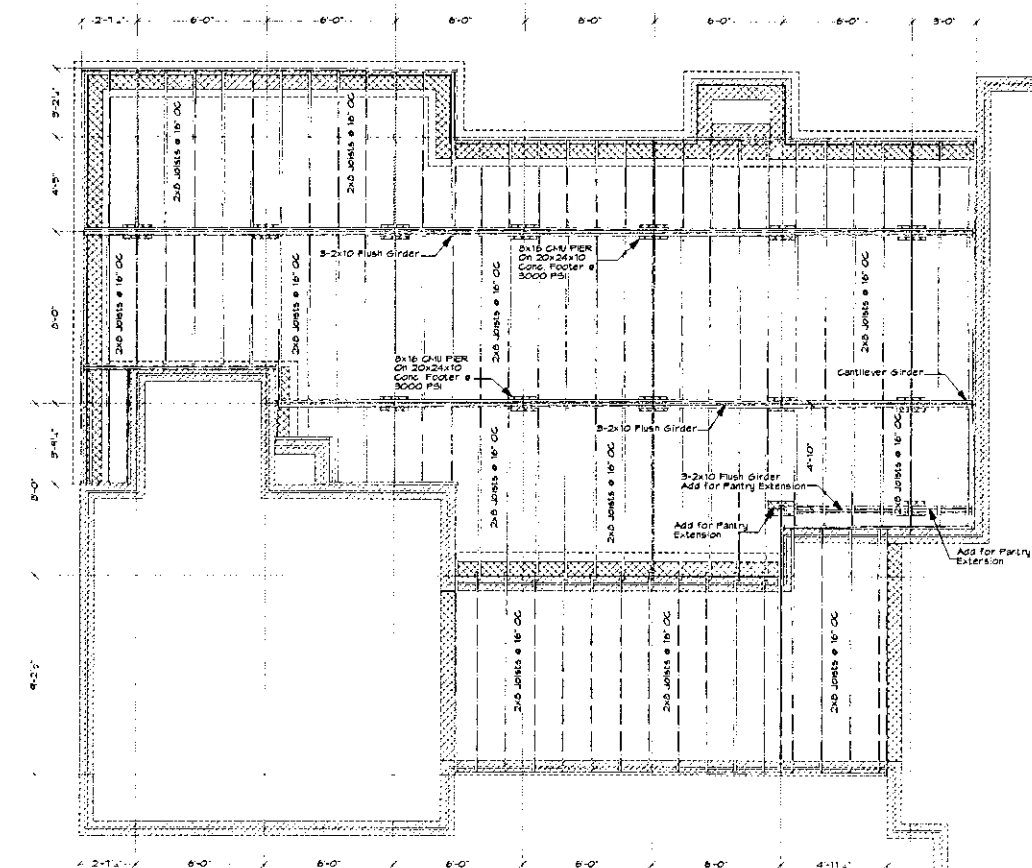
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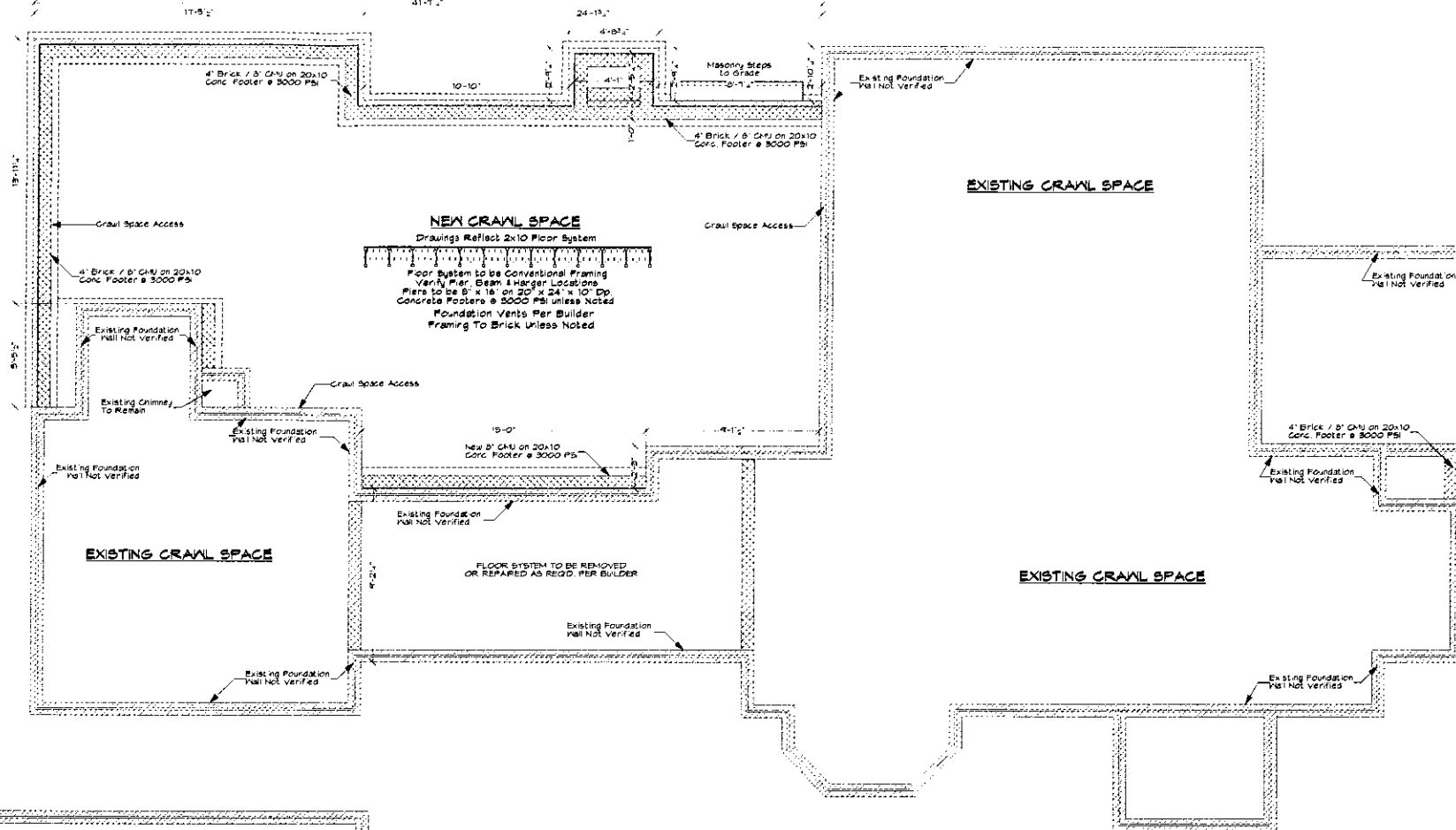


3 TYP. SECTION THRU EXTERIOR BRICK VENEER WALL @ New Construction
Scale: 3/4" = 1'-0"

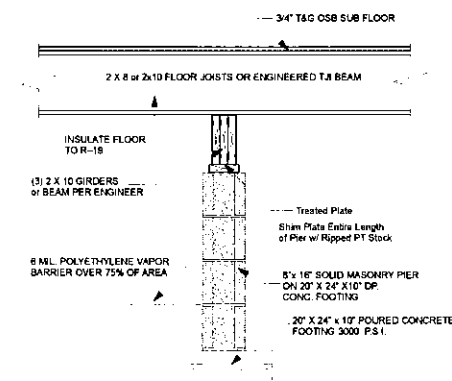


2 New Foundation Framing Plan
Scale: 1/4" = 1'-0"

Note: Termites Treatment
Soil beneath slab or grade
shall be chemically treated
before concrete is poured



1 EXISTING & NEW FOUNDATION PLAN
Scale: 1/4" = 1'-0"



4 TYP. SECTION @ 8x16 PIER w/ DROP GIRDER
Scale: 3/4" = 1'-0"

Crawl Space Ventilation Data	
120.60 Lin Ft Foundation	= 2.46 Sq Ft Vent Req'd
651.50 Sq Ft Crawl Space	= 2.10 Sq Ft Vent Req'd
4.55 Sq Ft Vent Req'd	
0.5 Sq Ft	
Free Air Space per Vent	= 4.12 Vents Req'd
Reduced by 1/2 for Vapor Barrier = 2 Vents Req'd For Conventional Crawl Space	

DAVID NICHOLS DESIGN

David A. Nichols
Anderson Nichols Design
1744 NC Hwy 5
Suite C
Aberdeen, NC 28315
910-215-9901

Anderson Nichols Design is a registered professional engineer and architect. The firm is responsible for the design and construction of the project. The firm is not responsible for the construction of the project.

Drawings and Specifications are prepared by the firm. The firm is not responsible for the construction of the project.

Date	Revised	By	Check	Project	Client	Project
03/02/2019	Revision 2	D. Nichols	R. Cribbs	Hammonds	Hammonds	Hammonds
03/02/2019	Revision 1	D. Nichols	R. Cribbs	Hammonds	Hammonds	Hammonds

David Nichols Design
1744 NC Hwy 5 - Suite C
Aberdeen, NC 28315
910-215-9901

Russ Cribbs
Cribbs Construction Co.

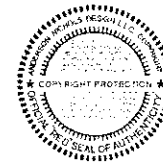
Lot Nos. 2803, 2804 & Additional Parcel
Old Village Section of Pinehurst
Mineral Springs Township, Moore Co.
Pinehurst, North Carolina

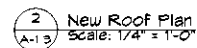
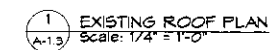
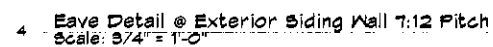
New & Existing Foundation Plan
New Foundation Framing Plan
Section Details

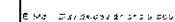
Scale: 1/4" = 1'-0"

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LOT NOS. 2803, 2804 & ADDITIONAL PARCEL
OLD VILLAGE SECTION OF PINEHURST
MINERAL SPRINGS TOWNSHIP, MOORE COUNTY,
PINEHURST, NORTH CAROLINA







Anderson Nichols Design and/or David A. Nichols assumes no liability for any money constructed from this plan. It is the responsibility of the purchaser to perform following before beginning actual construction:

- 1) Obtain all necessary permits.
- 2) Dimensions prior to proceeding with construction.
- 3) Contractor must verify a complete and legal building code in area where this house is to be constructed.
- 4) Plans include site locations only; argument aspects should be incorporated actual site.

Customer must be so advised in making any changes in this plan. Only qualified Design Architect, Contractor, or Structural Engineer should make modifications. Minor changes in one area of the house could cause major problems in another area. The designer has made every effort to ensure that the drawings meet or exceed all state and local codes.

Drawings and Specifications as instrument of service are and shall remain the property of Anderson.

Michels Design, whether the project for which they are intended is executed or not and may not be used on other projects or a extension of this project except by written agreement with Michels Design.

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[illegible][illegible]

File # _____

Project	Year of T
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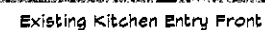
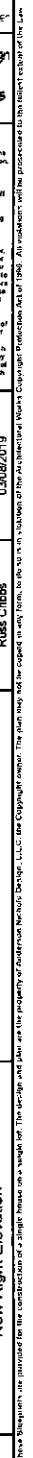
Style $141' = 1' - 0''$

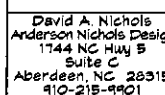
194-1-0

A-1.4

1

51





2) Contractor must verify compliance with local building codes in the area where the home is to be constructed.

3) Plans indicate locations only; engineering aspects should incorporate actual site conditions.

Caution must be exercised in making any changes to the plan. Only qualified Design Architect, Civil Engineer, or Structural Engineer should attempt modifications, as even minor changes in one area of the house could lead to major problems in another area. The designer here made every attempt to ensure that the drawings would be correct all state and local

Drawings and Specifications as Instruments of service are and shall remain the property of Anderson.

Michels Design, whether the project for which they are intended is executed or not and may not be used on other projects or extensions of this project except by written agreement with Michels Design.

Designed by	David Nicholas	Date	03/10/2019
Drawn by	D. Nichols	Revision	Revision 2
Checked by	R. Carbas	Project ID	Hammonds
Reviewed by	Hammonds	Drawing Code	WJUS 2018
Submitted by	Anderson Nicholas Design	CAD File Name	Hammonds Ramotzi
Project Manager	Project Manager	Doc Date	03/10/2019

David Nichols Design 1744 NC Hwy 5 - Suite C Aberdeen, NC 28315 910-215-9901	Russ Cribbs Cribbs Construction Co.
---	--

1000

<p>Lot Nos. 2803, 2804 & Additional Parcel Old Village Section of Pinelhurst Mineral Springs Twp., Moore Co. Pinelhurst, North Carolina</p>	<p>New Elevations New Rear Elevation New Left Elevation</p>
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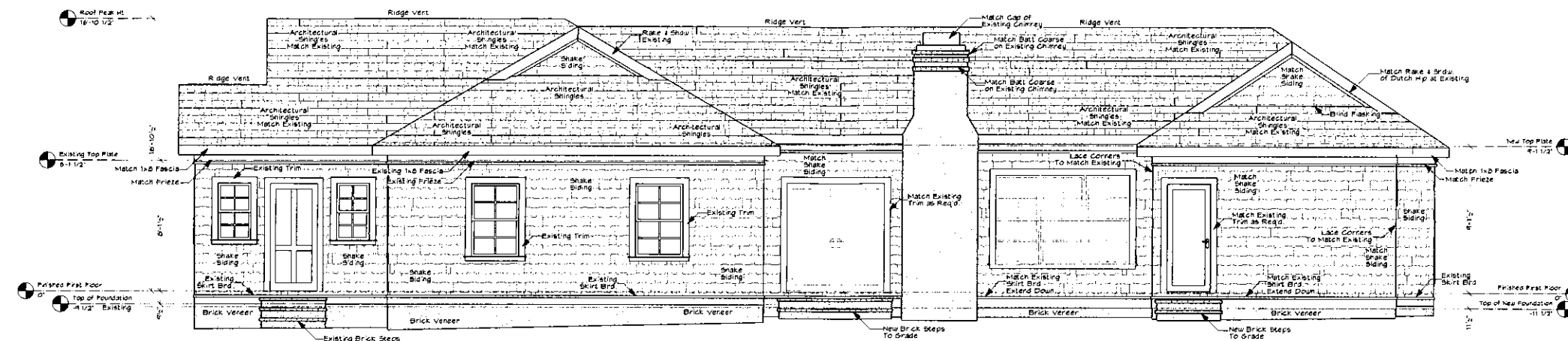
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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$$1/4'' \pm 1' - 0''$$

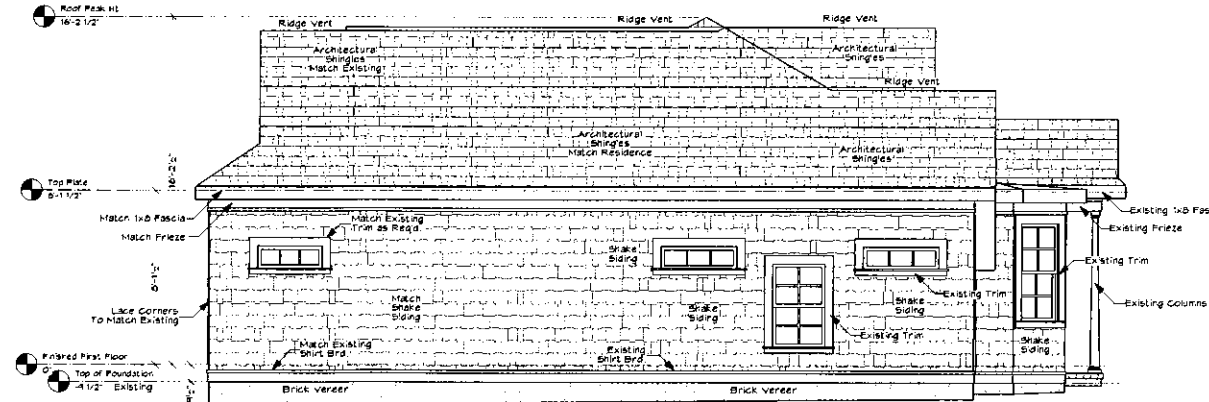
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A-1.5

of
7



REAR ELEVATION



LEFT ELEVATION



COA 19-045

ADDITIONAL AGENDA DETAILS:

This public hearing is to consider a request within the Pinehurst Historic District to extend the east side of a garage by 6 feet, add new roof windows, garage doors, a service door and new siding at 185 Cherokee Road in Pinehurst, NC. The property can be identified by Moore County Parcel Number# 24884. The property is owned by David and Molly Gwinn and the applicant is Davidson Building Services, Inc.

ATTACHMENTS:

Description

- ☐ Staff Report
- ☐ Application
- ☐ Site Plan
- ☐ Elevations and Floor Plan

**LOCAL HISTORIC DISTRICT APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS
STAFF REPORT**

COA: 19-045 185 Cherokee Road Parcel ID # 00024884
Addition to Garage PIN # 856209068654

APPLICANT: Davidson Building Service, Inc.
PROPERTY OWNER(S): David and Molly Gwinn

RECEIVED: 5/10/2019
MEETING DATE: 5/23/2019

ZONING DISTRICT: R-10
LHD STATUS: Contributing dwelling, year built 1895
Detached framed garage built 1930

ADDITIONAL APPROVALS/PERMITS NEEDED:

- ✓ ZONING APPROVAL
- ✓ BUILDING OFFICIAL

NATURE OF PROJECT:

- Add 6' to existing garage. Repair existing garage to include: install new roof, windows, garage doors, service door, and new siding to match existing house colors, windows and siding.

FACTS

APPLICABLE SECTIONS OF STANDARDS AND GUIDELINES

STAFF ANALYSIS: 185 Cherokee Rd. is a contributing structure built in 1895. The detached framed garage was constructed in 1930.

- A. SECTION 1.6.4.7 MAJOR WORK** – *New construction or additions not considered to be minor. Staff determined that the expansion and restoration of a garage should be considered by the Commission. Staff also determined that it is appropriate to avoid any appearance of favoritism for an application on which the Chair is an applicant by elevating the request to the Commission to ensure transparency.*

ADDITION TO MAIN DWELLING:

- B. SECTION 3.1.2.1 ADDITIONS STANDARDS** – *Additions shall be located as inconspicuously as possible, preferably on rear elevations. The existing garage is a nonconforming garage under zoning. The addition will be on the eastern side and front but to the rear of the property behind the dwelling and will not constitute an expansion of the zoning nonconformity.*

1. The proposed addition **will/will not** be inconspicuous and **will/will not** be on the rear elevation.

C. **SECTION 3.1.2.2 ADDITIONS STANDARDS** – *Additions must be compatible with the original buildings in terms of size, scale, color, materials and character. The applicant proposes to repair/restore the garage with an addition. The size will increase slightly on the east and front but not significantly change the scale. Colors and materials are proposed to match the existing structure.*

1. The proposed addition **will/will not** be of similar scale and character as the existing building.
2. The proposed addition **will/will not** consist of compatible materials and colors to the existing building.
3. The proposed work/structures **will/will not** be compatible with neighboring buildings.

D. **SECTION 3.1.2.3 ADDITIONS STANDARDS** – *Roof forms are particularly important and shall blend with original buildings. The outbuilding is proposed to be 13'2 ¾" in height. The gable roof will be off-center to accommodate the degree of slope needed to incorporate the 6' addition. The existing dwelling has a gable roof with numerous breaks in the roof lines at the front of the property.*

1. The rooflines of the proposed addition **will/will not** blend with the original building.

E. **SECTION 3.1.2.4 ADDITIONS STANDARDS** – *Windows in additions shall be similar to those in the original buildings in their proportions, spacing, muntins, and materials. The applicant proposes to match the existing dwelling in appearance with white aluminum clad windows.*

1. The windows in the proposed addition **will/will not** be similar to those in the original building.

F. **SECTION 3.1.2.5 ADDITIONS STANDARDS** – *Additions shall not be taller than the original buildings. The tax office lists the height of the structure at 1.75 stories.*

1. The proposed addition **will/will not** be taller than the original building.

G. **SECTION 3.1.2.6 ADDITION STANDARDS** – *Foundations and eaves or major horizontal elements shall generally align on building and their additions. The expansion is to occur on slab consistent with the remainder of the garage.*

1. The proposed addition **will/will not** have foundations and eaves that generally align with the existing building.

H. **SECTION 2.16.2** - *Garages are typically single-bay, located in the rear yard at the end of the driveway. The proportions should be compatible with the main house and should use traditional form and material for the District. This garage is proposed to go from approximately 2.5 to 3 bay and will match existing house colors and siding.*

1. The proposed garage **will/will not** be single-bay and located in the rear at the end of the drive.

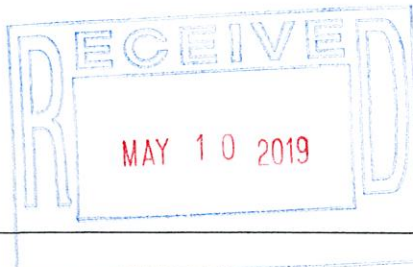
2. The proposed garage will/will not be compatible with the main house.
3. The proposed garage will/will not use traditional forms and materials.

FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. The proposed project **will/will not** be congruous with the Pinehurst Historic District.

LOCATION MAP





Application for
Local Historic District
(revised 3/14/17)

This form is required to be submitted for most work proposed within the Local Historic District. Please note that other applications may be required in addition to this form. All major work projects require at least 10 sets of plans and applications for review. Sets may be reduced-size, as long as they are legible. The Historic Preservation Commission generally meets the 4th Thursday of each month; please refer to the schedule for any holiday changes. Submittals for the HPC are required at least 3 weeks prior to any meeting. Single family projects require review by Planning Staff first; non-residential projects require other technical staff review and possibly reviews by other boards. Refer to the *Local Historic District Standards and Guidelines* and the Pinehurst Development Ordinance for requirements.

Property Data

Property Owner(s): DAVID & Molly GWINN Physical Address: 185 Cherokee

Business/Tenant Name (if applicable): _____

Mailing Address (if different): _____

Telephone: ⁹¹⁰ 215 - 8182 Zoning District: R-10 Parcel ID#: 856209068654
KH

Applicant/Contractor Data

Name: DAVIDSON BUILDING SERVICE INC Address: P.O. Box 1754 Pinehurst 28370

Contractor License #: 40733 Telephone: 910 690 6141

E-mail Address (optional): _____

Description of Project:

EXTEND EAST SIDE OF GARAGE (EXISTING)
6'

INSTALL NEW ROOF WINDOWS GARAGE DOORS
SERVICE DOOR NEW SIDING

ALL MATCHING EXISTING HOUSE COLORS
WINDOWS & SIDING



Application for
Local Historic District
(revised 3/14/17)

EXTERIOR MATERIAL COLOR FORM

EXTERIOR	MATERIAL	COLOR
Front Elevation	GERMAN SIDING	White
Rear Elevation	HORIZONTAL Lap	}
Right Elevation	MATCHING EXISTING	
Left Elevation	HOUSE & GARAGE	
Trim	WOOD	White
Windows	Ply GEM ALUMINUM CLAD	White
Chimney	NA CLAD	NA
Foundation	CONCRETE	NA
Front Door	GARAGE SERVICE DOOR - Wood	White
Shutters	NA	
Garage Door	METAL / ALUMINUM	White Black Hinges
Roof	Fiberglass Architecture	CHARCOAL
Front Porch	NA	NA
Deck	NA	NA
Patio	NA	NA
Sidewalk	NA	NA
Sky Lights	NA	NA
Driveway	NA	NA

Signature: R. X. Jambon Date: 5.9.19

****Office Use Only****

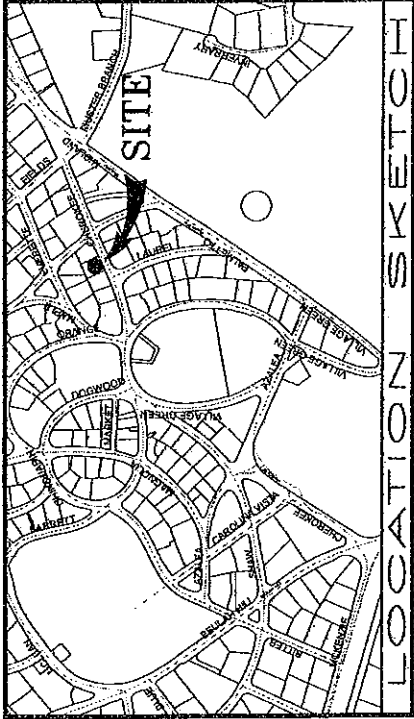
Project Type: Normal Maintenance Minor Work Major Work

Current Status: Contributing Non-contributing Vacant

COA# 19-045 Date: Staff: RK HPC Mtg(s): 5/23/19

Other required approvals: _____

Conditions: _____



- UNLESS OTHERWISE DENOTED,
- = EXISTING IRON STAKE
 - = EXISTING CONCRETE MONUMENT
 - = SET CONCRETE MONUMENT
 - = SET IRON STAKE
 - ~ = SQUARE FOOTAGE
 - ▲ = POWER SERVICE STUB
 - ⊙ = SEWER SERVICE STUB
 - ⊕ = TELEPHONE SERVICE STUB
 - ⊖ = CABLE TV SERVICE STUB
 - ⊗ = WATER METER
 - ⊙ = FIRE HYDRANT
 - MH = SANITARY SEWER MANHOLE
 - = UTILITY POLE
 - = FENCE

LOCATION SKETCH



REFERENCE:
DEED BOOK 1359, PAGE 299
MOORE COUNTY REGISTRY
ACREAGE DETERMINED
BY COORDINATE METHOD.

NOT INTENDED TO BE PREPARED
FOR RECORDATION IN ACCORDANCE
WITH G. S. 47-30 AS AMENDED.

CORPORATE LICENSE NO. C-1987

DATE: AUGUST 17, 2018
S. R. SHEFFIELD, PLS NO. 1365

PALMETTO
ROAD

1801

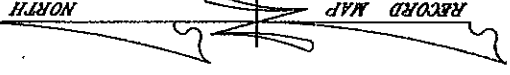
1802

1810

1808

1809

CHEROKEE
ROAD



SURVEY FOR
DAVID B. GWINN
& WIFE
MOLLY GWINN

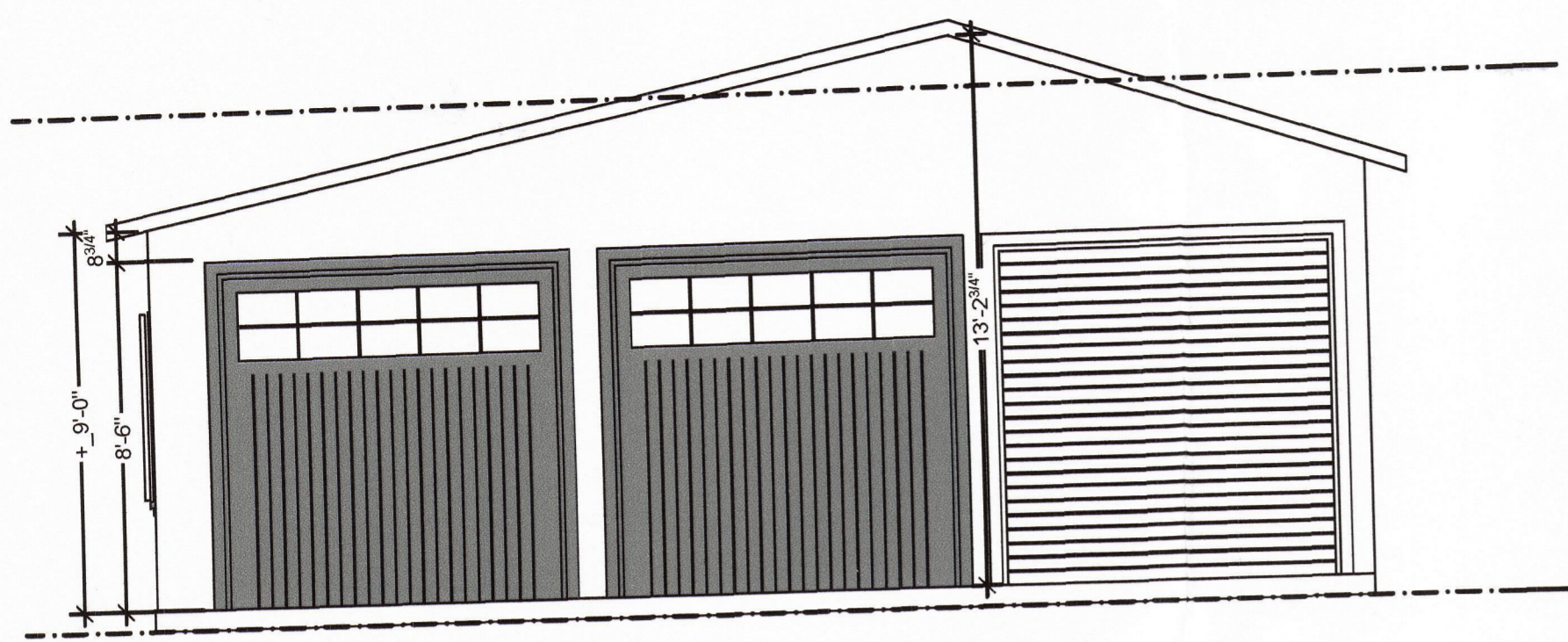
LOT NO. 1809 (OLD TOWN SECTION)
PINEHURST

MINERAL SPRINGS TOWNSHIP, MOORE COUNTY,
PINEHURST, NORTH CAROLINA
AUGUST 17, 2018 *- SCALE 1"=40'
STEPHEN R. SHEFFIELD & ASSOCIATES, P.A.
1680 NC HWY. 5, SUITE NO. 170
ABERDEEN, NORTH CAROLINA

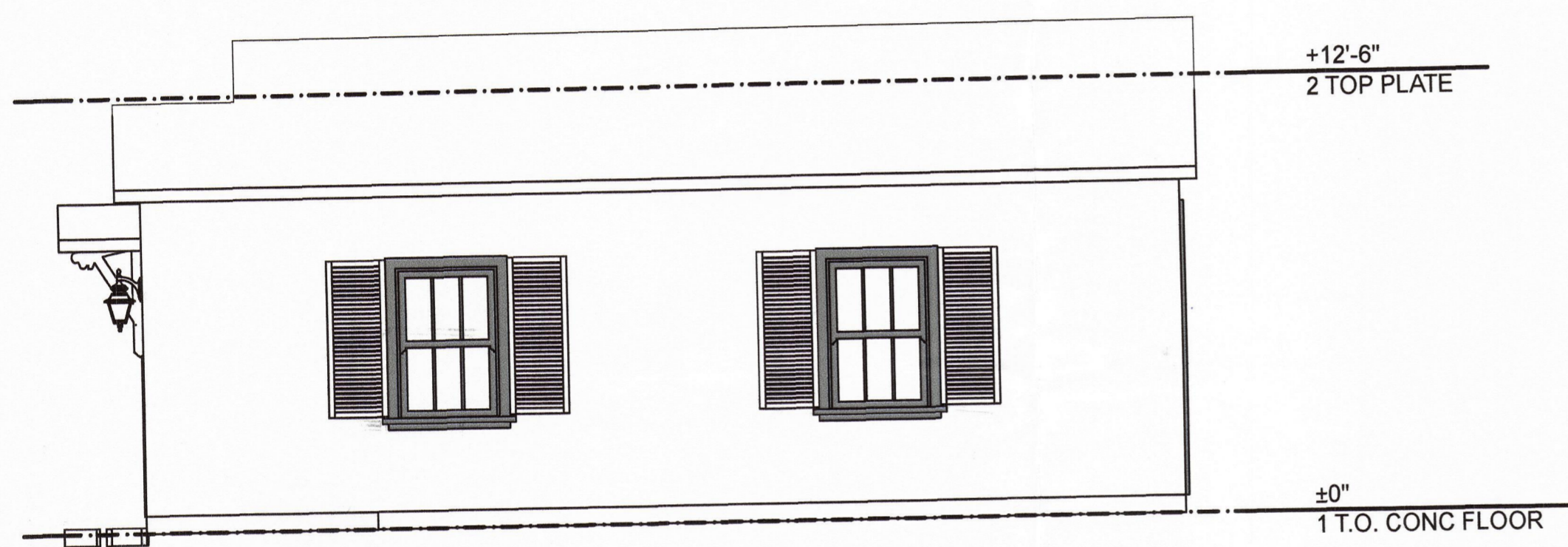


MASTERTEMPLATE (TM) FOR ARCHICAD 19 BY BOBROW CONSULTING GROUP | ALL RIGHTS RESERVED | www.bobrow.com | www.acdtemplate.com

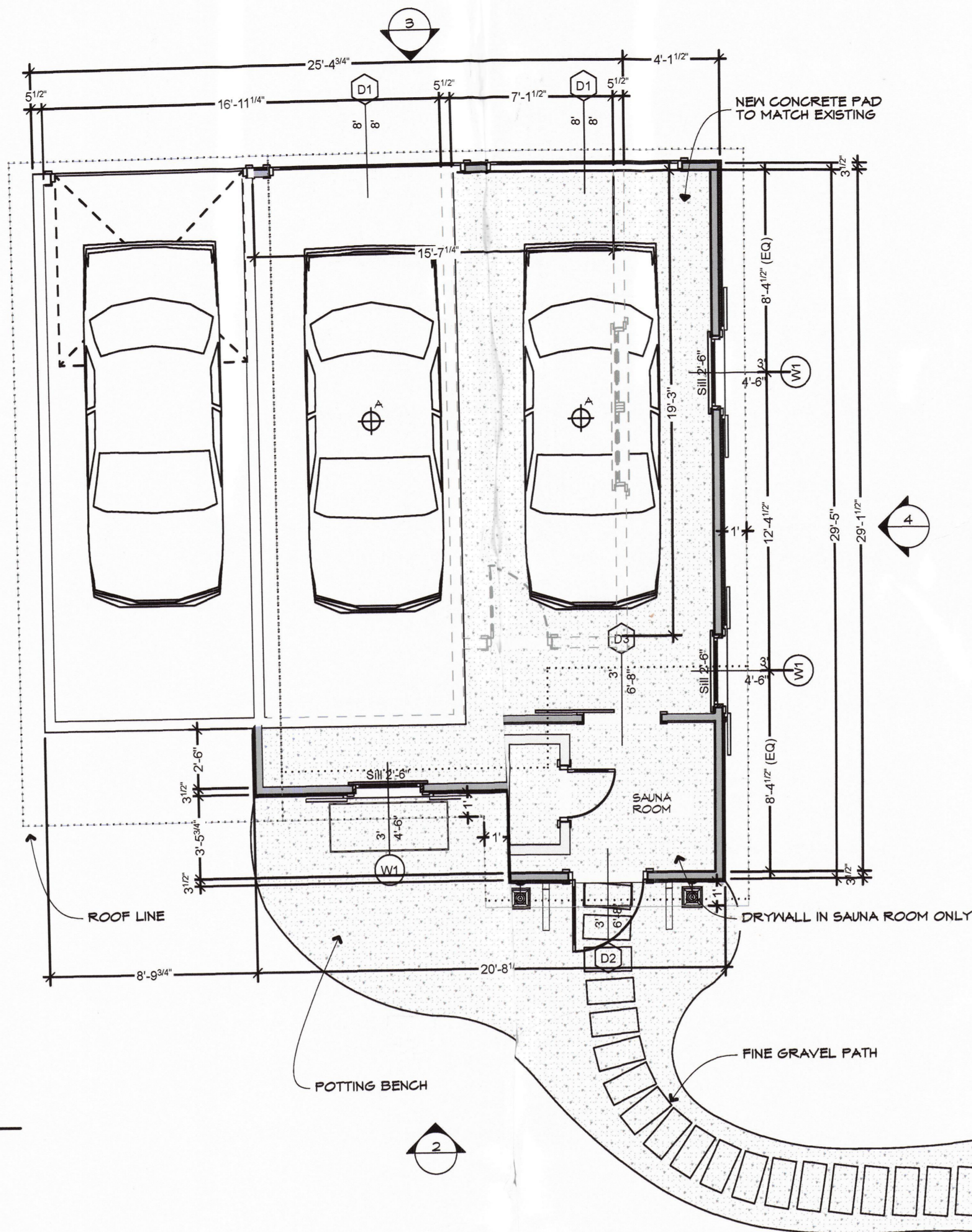
A:\Users\chrissindandrea\Documents\Drawings\Architecture\2018 Sandhills Peds\2019_02_185 Cherokee.pln



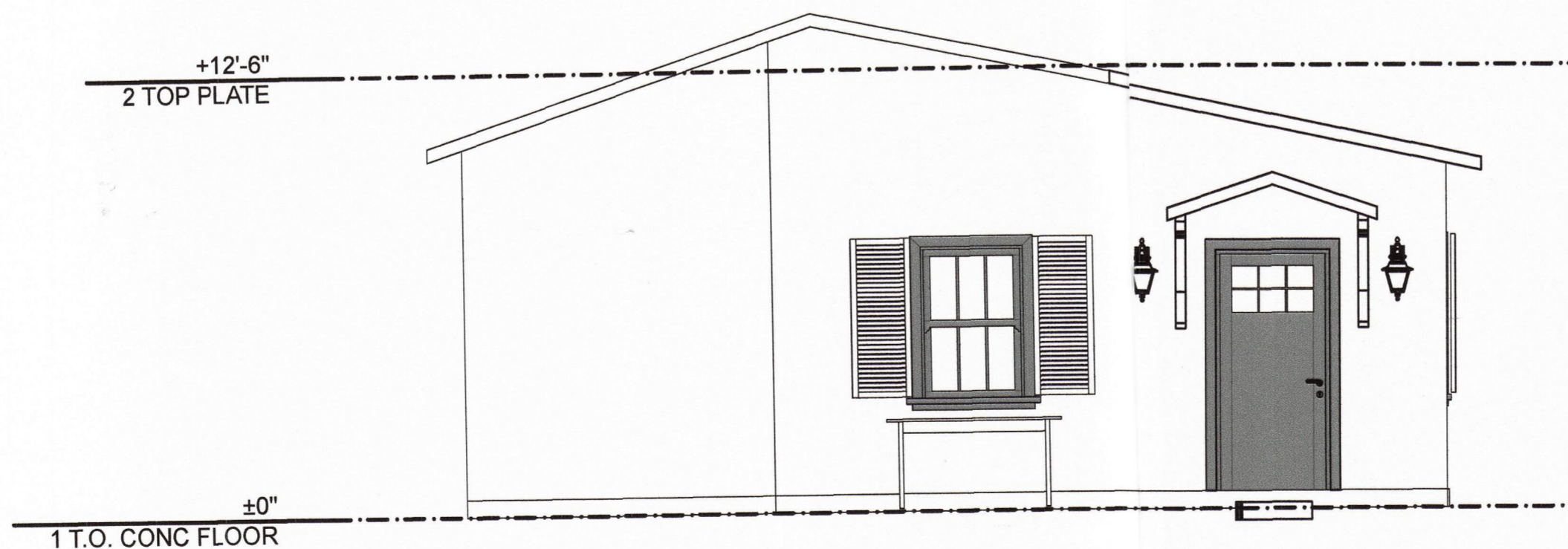
3 GARAGE DOORS
A1.1 SCALE: 1/4" = 1'-0"



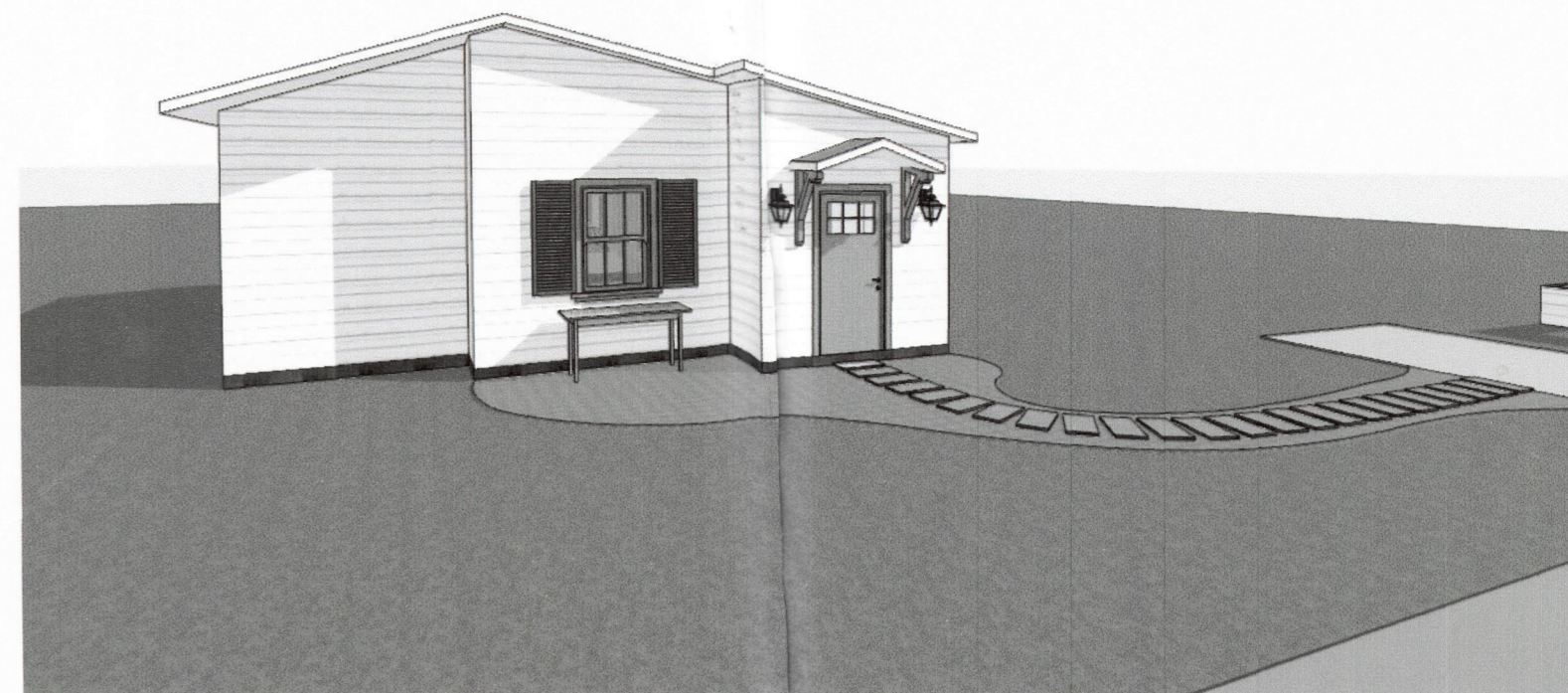
4 RIGHT SIDE
A1.1 SCALE: 1/4" = 1'-0"



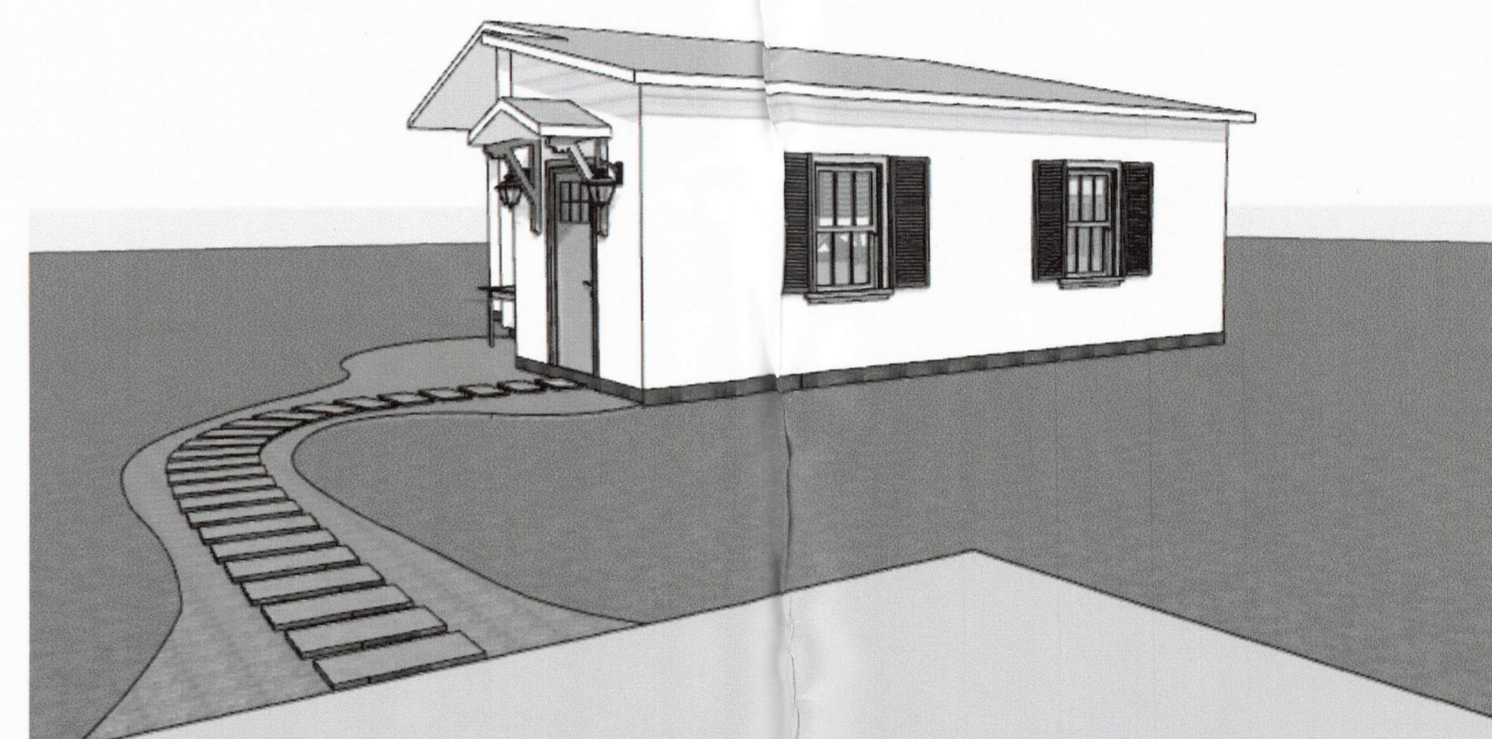
1 FLOOR PLAN
A1.1 SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION ENTRANCE
A1.1 SCALE: 1/4" = 1'-0"



6 BACKSIDE
A1.1 SCALE: 1/4" = 1'-0"



5 CORNER VIEW
A1.1 SCALE: 1/4" = 1'-0"



7 BACKVIEW
A1.1 SCALE: 1/4" = 1'-0"

INSERT YOUR
COMPANY
DISCLAIMER INFO
HERE

SEAL

Cherokee Road
Molly & David Guinn
Lot 4809
P.O. Box 3686
Pinehurst, NC 28473

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

BY REVISIONS DATE

Date: 3/15/19
Scale: AS NOTED
Drawn:
Job:
Sheet

A1.1

Plotted On: 3/15/19

MAIN LEVEL FLOOR PLAN 3/16"



COA 19-049

ADDITIONAL AGENDA DETAILS:

This public hearing is to consider a request within the Pinehurst Historic District to replace the aluminum shutters and columns, remove fascia board trim, add false pillars, side rail and fence panels at 15 Beulah Hill Road in Pinehurst, NC. The property can be identified by Moore County Parcel Number# 15557. The owner is Craig and Margaret Ann Ellis and the applicant is Michael's Construction Company, Inc.

ATTACHMENTS:

Description

- ☐ Staff Report
- ☐ Application
- ☐ Sketch of Proposal
- ☐ Proposed Change to Porch
- ☐ Rear Porch Existing Photo
- ☐ Existing Porch Photo

LOCAL HISTORIC DISTRICT APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**STAFF REPORT****COA: 19-049**
Front Porch**15 Beulah Hill Road****Parcel ID # 15557**
PIN # 856209068654**APPLICANT:** **Michael's Construction Company**
PROPERTY OWNER(S): **Craig and Margaret Ann Ellis (Trustee)****RECEIVED:** **4/30/2019**
MEETING DATE: **5/23/2019****ZONING DISTRICT:** **R-20**
LHD STATUS: **Non-Contributing dwelling, year built 1976****ADDITIONAL APPROVALS/PERMITS NEEDED:**

- ✓ **ZONING APPROVAL**
- ✓ **BUILDING OFFICIAL**

NATURE OF PROJECT:

- **Front porch remodel:** replace fiberglass round pillars with square pillars. Remove fascia board trim and leave dentil trim. Re-center light fixture and add second light. Attach false pillar to house. Add side rail and panel to porch.

FACTS**APPLICABLE SECTIONS OF STANDARDS AND GUIDELINES**

STAFF ANALYSIS: 15 Beulah Hill Road has a noncontributing structure built in 1976. It is screened heavily by vegetation on the front. No vegetation is proposed for removal as a result of this project. The applicant has received minor approval to replace the door and sidelights and install working shutters in place of fixed fiberglass shutters. As the structure is non-contributing, the important measure is if the structure is congruous with the district.

- A. SECTION 1.6.4.7 MAJOR WORK** – *New construction or additions not considered to be minor. The front porch remodel is sufficiently extensive to be considered a major work – especially when considered in context of approved minor work.*
- B. SECTION 2.6.1 PORCHES, ENTRANCES AND BALCONIES** – *Retain and preserve all architectural features that are character defining elements of porches, entrances and balconies including piers, columns, pilasters, balustrades, steps, brackets, soffit and trim. The applicant proposes replacing round columns with square columns on the front porch to match the rear of the house, double and center the lighting, and add side rail and panels. The front of the house is heavily screened from the road.*

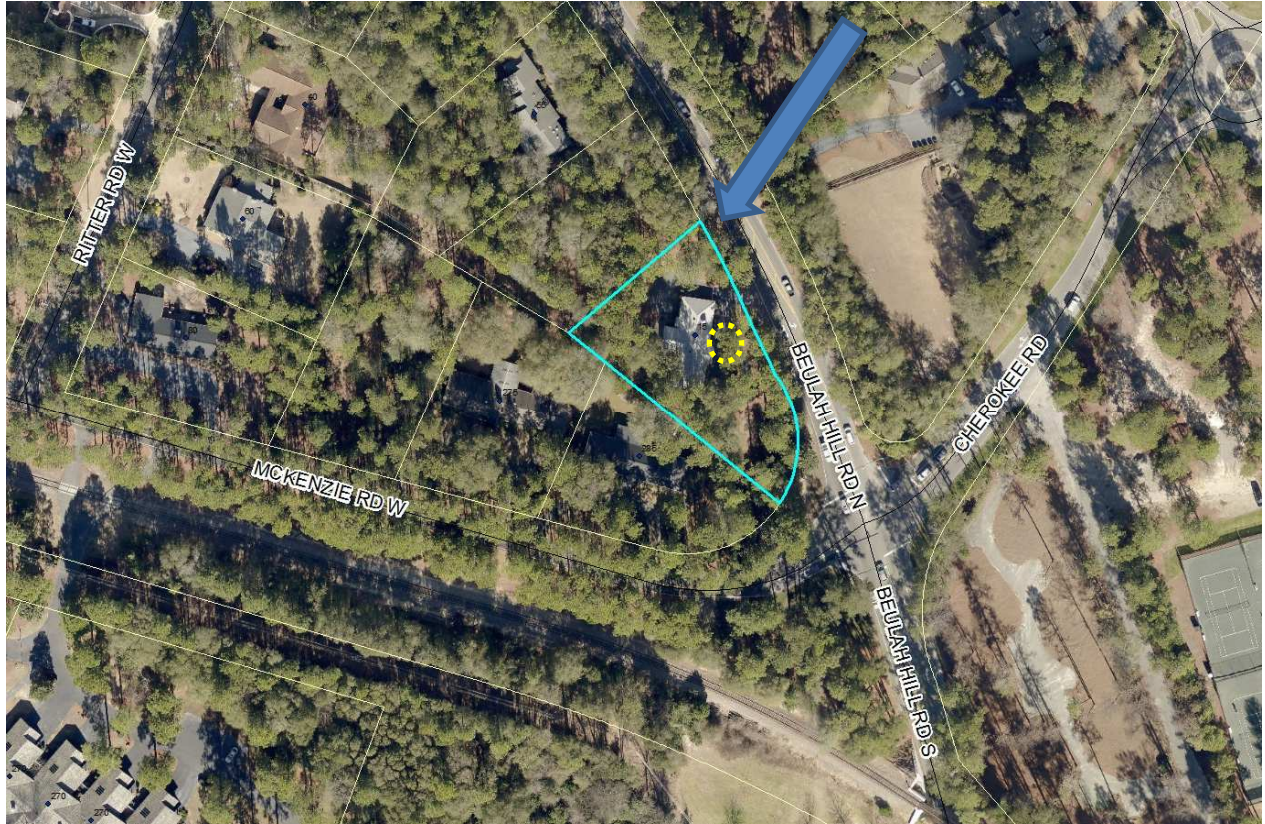
1. The proposed change to the front porch **will/will not** be inconspicuous.

2. The proposed change to the front porch will/will not be compatible with the neighborhood defining features.

FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. The proposed project will/will not be congruous with the Pinehurst Historic District.

LOCATION MAP





From Porch

Application for Local Historic District

This form is required to be submitted for most work proposed within the Local Historic District. Please note that other applications may be required for your project in addition to this form. All major work projects require at least 10 sets of plans and applications for historic review. These sets may be reduced-size, as long as they are legible. The Historic Preservation Commission generally meets the 4th Thursday of each month; please refer to the schedule for any holiday changes. Submittals for the Historic Commission are required at least 3 weeks prior to any given meeting. Please note that most single family projects require review by Planning Staff first; non-residential projects require other technical staff review and possibly reviews by other boards. Please refer to the *Local Historic District Standards and Guidelines* and the Pinehurst Development Ordinance for requirements and standards.

Property Data

Property Owner(s): Craig and Margaret Ann Ellis

Business Name (if applicable): _____

Tenant Name (if applicable): _____

Physical Address: 15 Beulah Hill Road North, Pinehurst NC 28374

Mailing Address (if different): 452 Gellert Drive San Francisco Ca 94132

Phone #: _____ Mobile #: 626-710-7151

Zoning District: R-20 LRK #: 15557 PIN #: 855212857072

Applicant/Contractor Data

Name: Michael's Construction Company, Inc.

Contractor License #: 57027

Phone #: 910-315-4957

E-mail Address (optional): mccimike@gmail.com

Mailing Address: 704 Hoffman Road West End NC 27376

Estimate Cost of Construction: \$ 3,000-

*Would you like your sets of plans returned to you from the Historic Commission? Yes: ☐ No: ☒

Front Porch Update

MEGANN ELLIS 626-710-7151
15 BEULAH HALL RD N
PINEHURST NC 28374

Demo the first level of fascia beam up to the dental molding

This will increase the height to 8'1" (the back porch is 8'2")
and the beam begins with dental mold

Widen the fascia beam with dental mold

Build 2 square pillars to match back porch and install

Build and install 2 4" deep false pillars to be mounted on either side of the door unit in line with front pillars

Run electric line for 2 new wall mount porch lights centered between the false pillars and the sidelites (@ 5'6")

Install new door unit

See below door unit/casing 6 lites on door and 3 on each sidelite

Build and install porch rail and panel between false pillar and front pillar

Door and Casing Detail: Ordered April 11, 2019

1-0/3-0/1-0 X 6-8 -

ALEXANDRIA TDL 6LT -

E-03 CLEAR BEVELED

LOW-E GLASS -

MAHOGANY - 4-9/16"

JAMB - MILL SILL -

SATIN NICKEL HINGES -

DBB - RHIS - OUTSIDE

OF BM DIMS = (WILL

SHIP BM LOOSE)

\$2,400+tax= \$2,568 O/S

BM= 67-3/4"x84"

445

MAHOGAN

Y

INTERIOR

CASING -

\$197+tax=\$

210.79

2 1X4X8

S4S

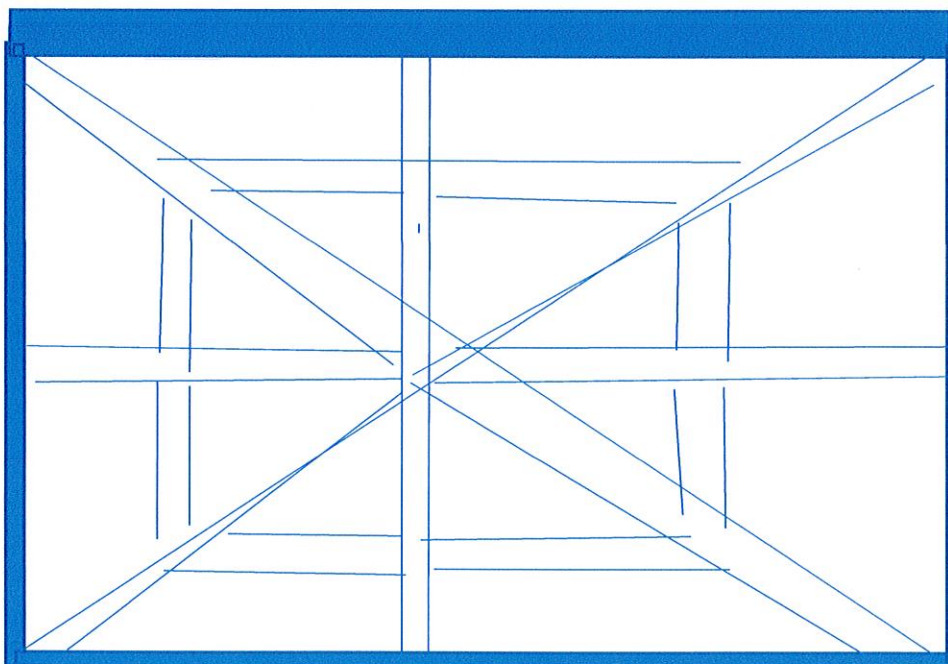
CASING

ALSO -

\$240+tax=

\$256.80

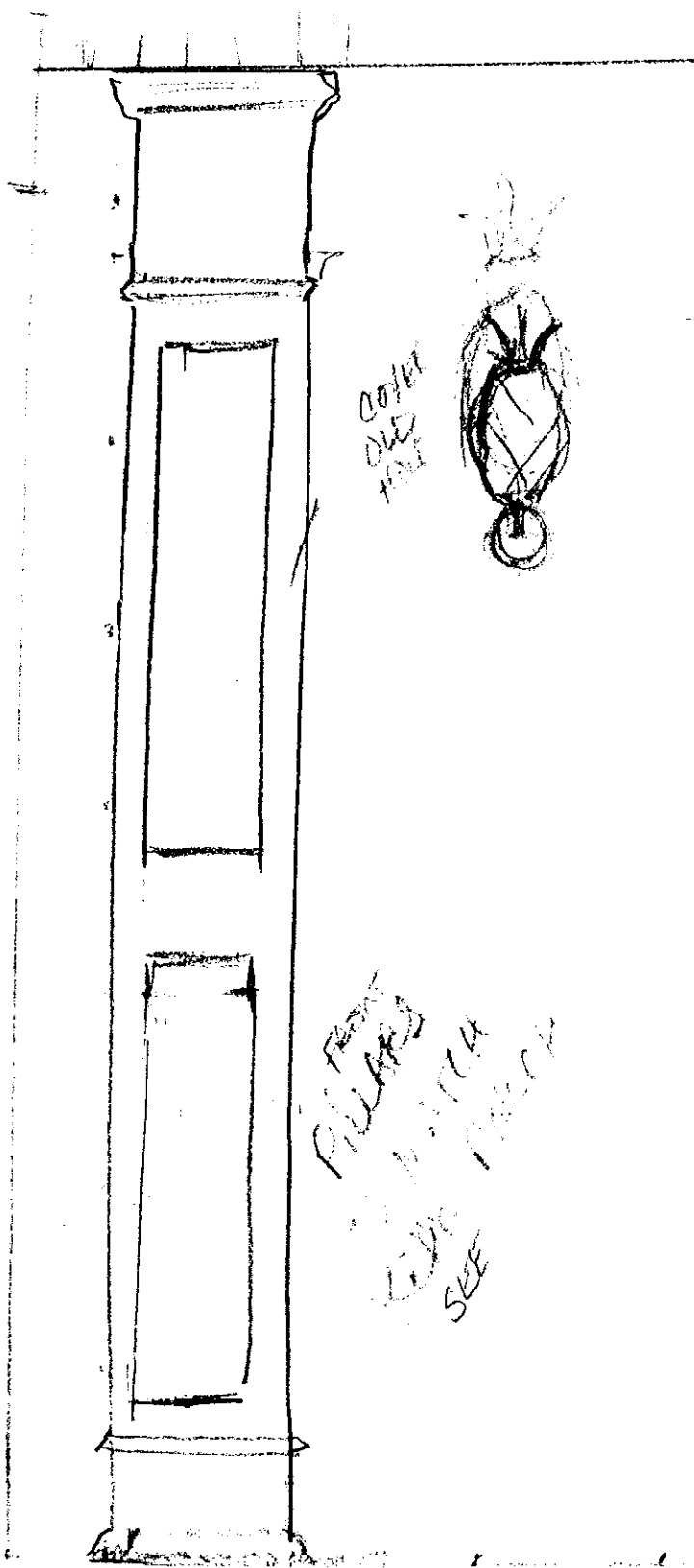
Panel for rail



8' 1"

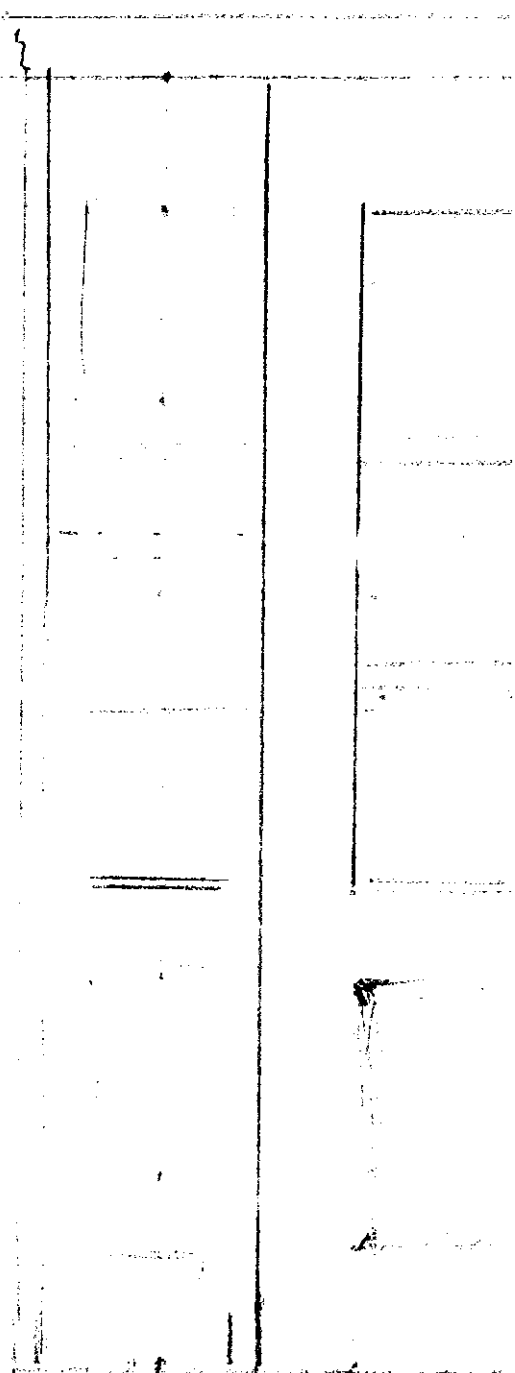
THE WALL OF FIGURA REMOVED

FRONT
9"



COVER
OLD
HOLE

FRONT
PICTURES
IN WALL
SIDE
SEE



13"

2'-6"

1'

12'-



Application for
Local Historic District

Description of Project:

REPLACE FIBERGLASS ROUND PILLARS WITH
SQUARE PILLARS

- REMOVE FASCIA BOARD TRIM TO INCREASE
HEIGHT OF PILLAR AND MAKE FRONT
PORCH CONSISTENT WITH BACK PORCH
- RECENTER LIGHT FIXTURE
(NEVER CENTERED PROPERLY)
- ADD FALSE PILLAR (ATTACH TO HOUSE)
- ADD SIDE RAIL & FENCE PANEL (DECORATIVE
NOT FUNCTIONAL)



Application for
Local Historic District
(revised 3/14/17)

EXTERIOR MATERIAL COLOR FORM

EXTERIOR	MATERIAL	COLOR
Front Elevation		
Rear Elevation		
Right Elevation		
Left Elevation		
Trim	WOOD	WHITE
Windows		
Chimney		
Foundation		
Front Door		
Shutters		
Garage Door		
Roof		
Front Porch	WOOD / BRICK (REPAIR)	WHITE
Deck		
Patio		
Sidewalk		
Sky Lights		
Driveway		

Signature: M. Ellis Date: 4/30/2019

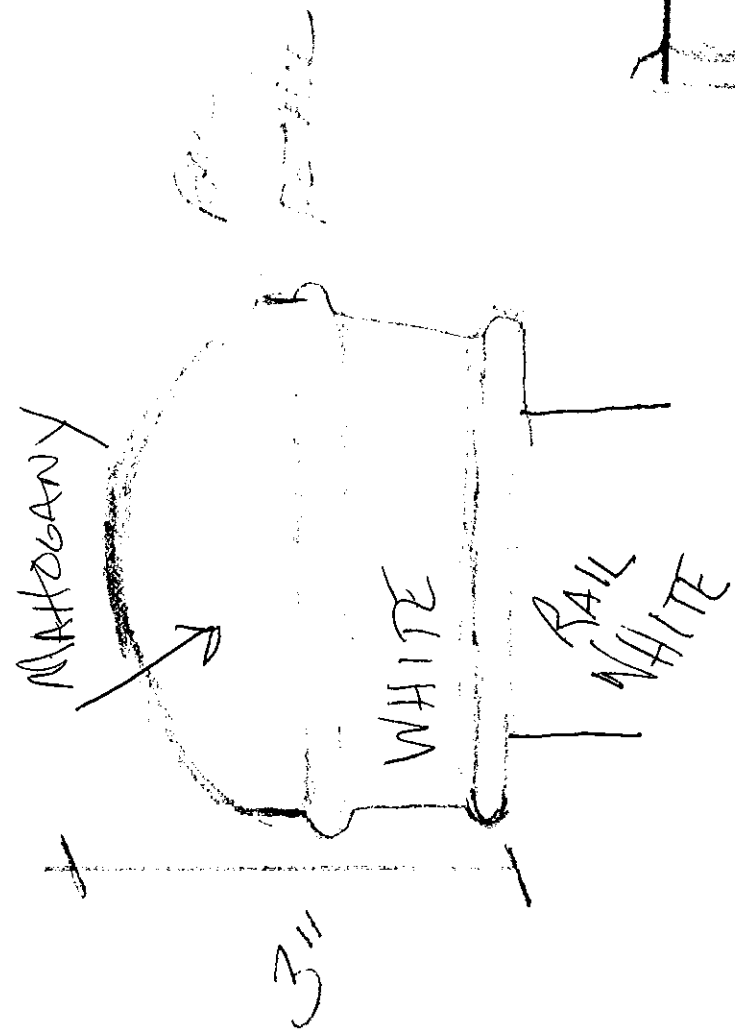
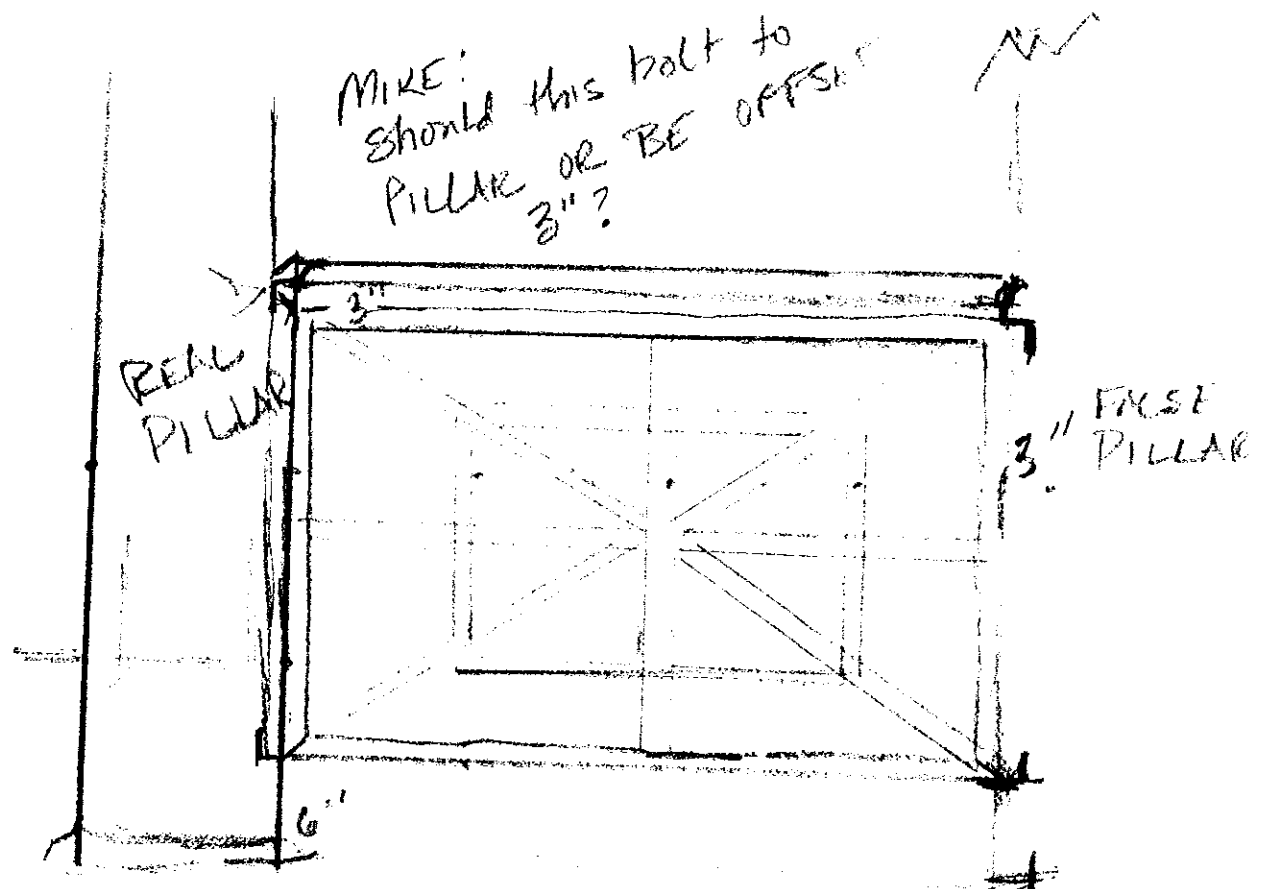
****Office Use Only****

Project Type: Normal Maintenance Minor Work Major Work

Current Status: Contributing Non-contributing Vacant

COA# 19-049 Date: Staff: HPC Mtg(s): 5-23-19

Other required approvals: _____
Conditions: _____



Handwritten notes at the bottom right of the page, partially obscured and difficult to read.





NEW PILLAR DESIGN
MATCH BACK PORCH



Porch' as is''



COA 19-051

ADDITIONAL AGENDA DETAILS:

This public hearing is to consider a request within the Pinehurst Historic District to restore the original front porch, restore the garage, add rear door entry porch cover and repaint at 5 Everett Road in Pinehurst, NC. The property can be identified by Moore County Parcel Number# 16447. The owner is Brandon Sowell and the applicant is Pinehurst Homes, Inc.

ATTACHMENTS:

Description

- ☐ Staff Report
- ☐ Application
- ☐ Elevations and Plans

LOCAL HISTORIC DISTRICT APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS
STAFF REPORT

COA: 19-051
Rear Entry Porch Cover

5 Everette Road

Parcel ID # 16447
PIN # 856209064852

APPLICANT: Michael's Construction Company
PROPERTY OWNER(S): Craig and Margaret Ann Ellis (Trustee)

RECEIVED: 5/2/2019
MEETING DATE: 5/23/2019

ZONING DISTRICT: R-10
LHD STATUS: Contributing Dwelling Built 1915

ADDITIONAL APPROVALS/PERMITS NEEDED:

- ✓ ZONING APPROVAL
- ✓ BUILDING OFFICIAL

NATURE OF PROJECT:

Add rear entry porch cover (major), repaint exterior same color, restore garage back to garage, restore porch where previously enclosed.

FACTS

APPLICABLE SECTIONS OF STANDARDS AND GUIDELINES

STAFF ANALYSIS: The proposed project predominantly involves restoration of the original structure. The portion of the project that constitutes major work is an addition of a rear entry porch cover on the back of the house. The proposed cover is in keeping with the gables present on the original structure and will be added to an existing stoop.

- A. **SECTION 1.6.4.7 MAJOR WORK** - *The addition to the principal dwelling is minor in scope but constitutes a major change.*
- B. **SECTION 2.6 - PORCHES, ENTRANCES, AND BALCONIES** - *The enclosure of a porch alters the historic character of a building and is not considered appropriate in the district. This project will reverse the enclosure of the front porch and will restore the original appearance.*

1. The proposed change to the front porch will/will not be compatible with the character of the district.

- C. **SECTION 2.6.1 PORCHES, ENTRANCES AND BALCONIES** - *Retain and preserve all architectural features that are character defining elements of porches, entrances and balconies including piers, columns, pilasters, balustrades, steps, brackets, soffit and trim.*

The applicant proposes an addition of a porch cover to the rear of the house that will be compatible with architectural features of the house.

1. The proposed addition of a rear porch cover **will/will not** be inconspicuous.
2. The proposed addition of a rear porch cover **will/will not** be compatible with the architectural features of the house.

D. SECTION 2.16.1 - CARRIAGE HOUSES, GARAGES, AND OUTBUILDING GUIDELINES - *Garages should be preserved when feasible including character-defining elements and architectural features.*

1. The garage renovation **will/will not** restore the garage with appropriate architectural features.

E. SECTION 2.9.1 - PAINT AND COLOR GUIDELINES - *Exteriors should be preserved and protected with a sound paint film. Paint colors should be appropriate to the building and the district. The applicant proposes to repaint the house and trim and all renovation work with the existing color.*

1. Repainting the exterior of the structures with the existing color **will/will not** be compatible with the building and the district

FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. The proposed project **will/will not** be congruous with the Pinehurst Historic District.

LOCATION MAP





Application for Local Historic District

This form is required to be submitted for most work proposed within the Local Historic District. Please note that other applications may be required for your project in addition to this form. All major work projects require at least 10 sets of plans and applications for historic review. These sets may be reduced-size, as long as they are legible. The Historic Preservation Commission generally meets the 4th Thursday of each month; please refer to the schedule for any holiday changes. Submittals for the Historic Commission are required at least 3 weeks prior to any given meeting. Please note that most single family projects require review by Planning Staff first; non-residential projects require other technical staff review and possibly reviews by other boards. Please refer to the *Local Historic District Standards and Guidelines* and the Pinehurst Development Ordinance for requirements and standards.

Property Data

Property Owner(s): Brandon Sowell
Business Name (if applicable): N/A
Tenant Name (if applicable): N/A
Physical Address: 5 Everette Rd
Mailing Address (if different): _____
Phone #: _____ Mobile #: 910-684-0931
Zoning District: R10 LRK #: 00016447 PIN #: 856209064852

Applicant/Contractor Data

Name: Pinehurst Homes, Inc.
Contractor License #: 28728
Phone #: 910-295-5400
E-mail Address (optional): admin@pinehursthomesinc.com
Mailing Address: 6895 Hwy 211 W West End, NC 27376
Estimate Cost of Construction: \$ 100,000

*Would you like your sets of plans returned to you from the Historic Commission? Yes: ☐ No: ☒



Application for Local Historic District

Description of Project:

Restore original Front Porch that had been enclosed

Restore original Garage that was converted to a room, back to a functioning Garage

Add Rear Door Entry Porch Cover

Update Kitchen and Bathrooms

Repaint exterior existing color

Planning and Inspections Department

395 Magnolia Rd - Pinehurst, North Carolina 28374

(910) 295-2581- Fax (910) 295-1396 - www.villageofpinehurst.org



Application for
Local Historic District

EXTERIOR MATERIAL COLOR FORM

EXTERIOR	MATERIAL	COLOR
Front Elevation	Existing cedar	Existing yellow
Rear Elevation	Existing cedar	Existing yellow
Right Elevation	Existing cedar	Existing yellow
Left Elevation	Existing cedar	Existing yellow
Trim	Existing wood	Existing white
Windows	No Change	Existing white
Chimney	No Change	Existing white
Foundation	No Change	Existing white
Front Door	Fiberglass	White
Shutters	No Change	N/A
Garage Door	Metal	White
Roof	No Change cedar	N/A
Roof Exhaust Vents	N/A	N/A
Front Porch	Wood	White
Deck	N/A	N/A
Patio	N/A	N/A
Sidewalk	N/A	N/A
Sky Lights	N/A	N/A
Driveway	No Change	N/A
House Number	Metal	Black

Signature: _____

Date: _____



**Application for
Local Historic District**

Office Use Only

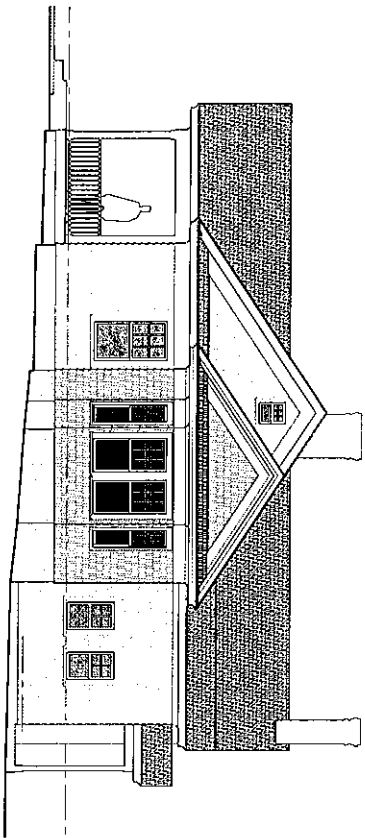
Project Type: ☐ Normal Maintenance ☐ Minor Work ☐ Major Work

Current Status: ☐ Contributing ☐ Non-contributing ☐ Vacant

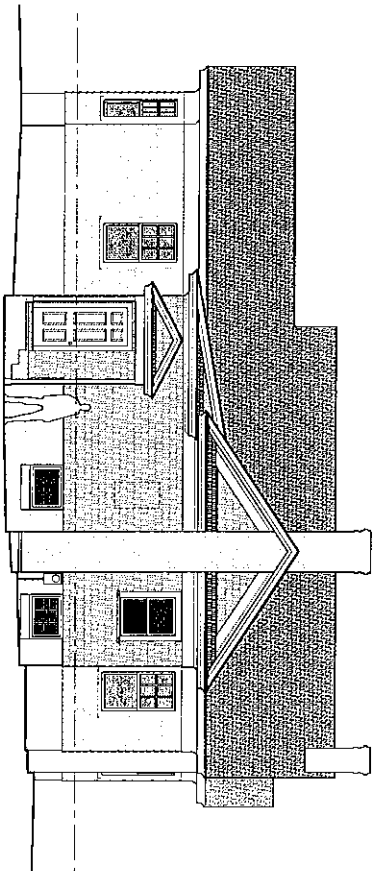
COA# _____ Date: _____ Staff: _____ HPC Mtg(s): _____

Other required approvals: _____

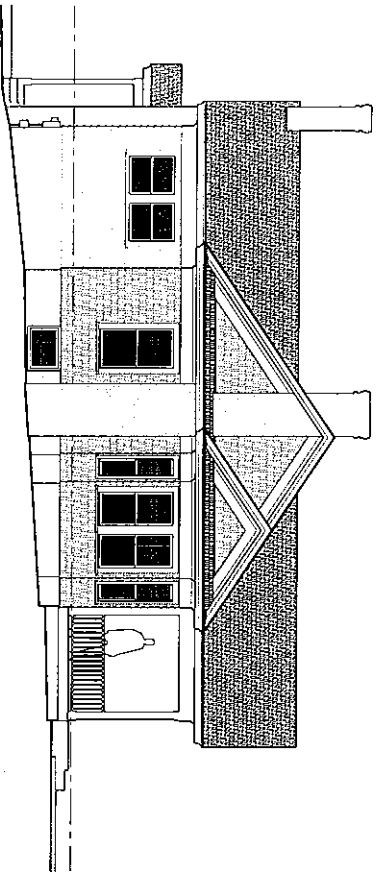
Conditions: _____



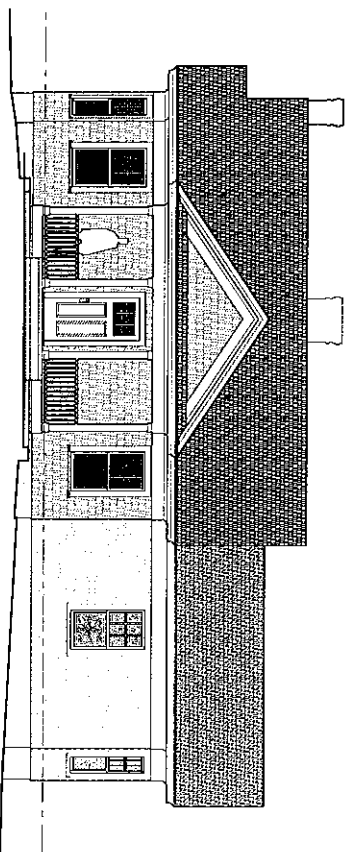
201 RIGHT SIDE



202 REAR ELEVATION



203 LEFT SIDE



204 FRONT

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

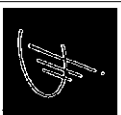
H-2

• EXT. ELEVATIONS
• SCALE: 1/4" = 1'-0"
• DATE: 4/28/2019
• DRAWING NO.:

SOWELL RESIDENCE
COTTAGE RENOVATION
6 SADDLE PLACE DRIVE, PINEHURST, NORTH CAROLINA

PINEHURST
HOMES

Mark Design
Mark Design
markdesigninc.com



SUNNYSIDE

Contributing building

5 Everette Rd.

1915

Thomas H. Craig, Pinehurst's Superintendent of Sanitation, was the original owner of this house. It is a one-story, shingle-clad frame cottage with a gable roof, pedimented entrance bay, and one-story side wing. (Lot #1501)

GARAGE

Contributing building

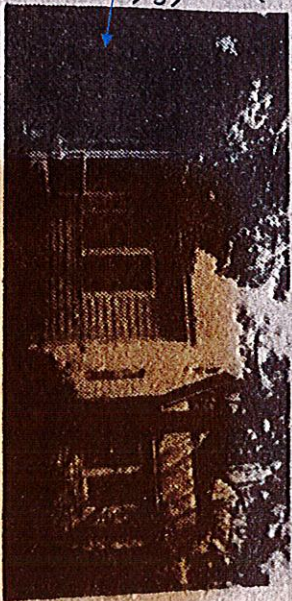
Behind the house is a one-bay German-sided frame garage.

Property overview history from Tufts Archives

Newspaper
clipping from
Tufts Archives
showing original
Front Porch

Real Estate For Sale

Old South
REALTY
1140
OLD U.S. 1
SOUTH
692-4211



SUNSHINE COTTAGE - Great room with fireplace - central gas heat & air - nice garden spot on lot 125' x 125' - 2 blocks from downtown - add your decorating touches and make this a winner - \$34,500.



COA 19-041

ADDITIONAL AGENDA DETAILS:

This public hearing is to consider a request within the Pinehurst Historic District to construct a new garage, add shutters, front porch railing and columns and exterior lighting at 120 Woods Rd., Pinehurst, NC. The property can be identified by Moore County Parcel Number# 23528. The owners are Matthew and Lauren Chriscoe and applicant is Cribbs Construction Company.

ATTACHMENTS:

Description

- ☐ Staff Report
- ☐ Application
- ☐ Site Plan
- ☐ Elevations
- ☐ Proposed Siding

LOCAL HISTORIC DISTRICT APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS
STAFF REPORT

COA: 19-051 120 Woods Road Parcel ID# 00023528
Detached garage/guesthouse PIN # 856209068654

APPLICANT: **Cribb's Construction Company**
PROPERTY OWNER(S): Matthew and Lauren Chriscoe

RECEIVED: 5/2/2019
MEETING DATE: 5/23/2019

ZONING DISTRICT: **R-10**
LHD STATUS: Contributing building - 1935

ADDITIONAL APPROVALS/PERMITS NEEDED:

- ✓ ZONING APPROVAL
- ✓ BUILDING OFFICIAL

NATURE OF PROJECT:

Construct detached garage/guesthouse. Add new landscaping. Add shutters, front porch railing and columns, paint exterior doors and add exterior light fixtures.

FACTS

APPLICABLE SECTIONS OF STANDARDS AND GUIDELINES

STAFF ANALYSIS: *The applicant proposes an additional structure on the property. The roofline on the main house is a combination of gable, shed and flat roof. The additional structure will use a gable roof without the shed.*

- A. SECTION 1.6.4.7 MAJOR WORK** – *The Village Planner has determined that this work is of a nature that staff cannot permit, and therefore, should be considered by the HPC due to the size of the structure and type of materials.*
- B. Section 2.16.2 – Carriage Houses, Garages, and Outbuilding Standards** – *Proportions of new garages should be compatible with proportions of the main house. The scale should be smaller. The main house is listed at 1.5 stories (23 feet tall) and has a first floor footprint of 1647 SF. The proposed garage will have a first floor footprint of 624 SF, is proposed to have an 8' bonus area above the garage and will be 22 feet tall, roughly the same height of the main house. The garage/guesthouse will be located directly behind the main house.*

1. *The proportion of the proposed garage/guesthouse will/will not be compatible with the proportions of the main house.*

New garages must use traditional roof forms, materials and detail compatible with the main building or historic district. The applicant proposes brick to match the house and vinyl siding. The main building has six over six windows. The windows are a predominant feature. The garage plans show four over four vinyl windows.

*The proposed garage/guesthouse **will/will not** use traditional roof forms, materials and detail.*

C. SECTION 2.9.1 – PAINT AND COLOR GUIDELINES – *Exteriors should be preserved and protected with a sound paint film. Paint colors should be appropriate to the building and the district. The applicant proposes to repaint the door and shutters .*

1. Repainting the door and shutters **will/will not** be compatible with the building and the district.

FINDINGS OF FACT AND CONCLUSIONS OF LAW

1. The proposed project **will/will not** be congruous with the Pinehurst Historic District.

LOCATION MAP





Application for Local Historic District

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Property Data

Property Owner(s): Matthew and Lauren Chriscoe

Business Name (if applicable): _____

Tenant Name (if applicable): _____

Physical Address: 120 Woods Road

Mailing Address (if different): 35 Deacon Palmer Place, Southern Pines, NC 28387

Phone #: 910-639-2788 Mobile #: _____

Zoning District: R10 LRK #: 00023528 PIN #: 856205192020

Applicant/Contractor Data

Name: Cribbs Construction Company

Contractor License #: 71829

Phone #: 910-528-2501

E-mail Address (optional): russ.cribbs@gmail.com

Mailing Address: 9988 Aberdeen Road, Aberdeen, NC 28315

Estimate Cost of Construction: \$ 125,000

*Would you like your sets of plans returned to you from the Historic Commission? Yes: ☐ No: ☒



Application for Local Historic District

Description of Project:

- 1) Construct a detached garage with upstairs bedroom and bath
- 2) Add new landscaping to existing property and new garage area
- 3) Add shutters, front porch railing and columns, painting exterior doors and exterior light fixtures to existing home



Application for Local Historic District

EXTERIOR MATERIAL COLOR FORM

EXTERIOR	MATERIAL	COLOR
Front Elevation	Vinyl to match home	Pure White
Rear Elevation	Vinyl to match home	Pure White
Right Elevation	Vinyl to match home	Pure White
Left Elevation	Vinyl to match home	Pure White
Trim	Vinyl to match home	Pure White
Windows	Vinyl to match home	Pure White
Chimney	n/a	n/a
Foundation	brick to match home	Scottsdale (dark red)
Front Door	Wood fiberglass	Minwax Provential
Shutters	Miratech Composite	Tricorn Black
Garage Door	Steel	White
Roof	Certaiteed Architectural Shingles	Hunter Green
Roof Exhaust Vents	n/a	n/a
Front Porch	n/a	n/a
Deck	n/a	n/a
Patio	n/a	n/a
Sidewalk	n/a	n/a
Sky Lights	n/a	n/a
Driveway	n/a	n/a
House Number	metal	Black

*rookwood
shutter green*

Signature: *[Signature]*

Date: May 1, 2019



Application for Local Historic District

Office Use Only

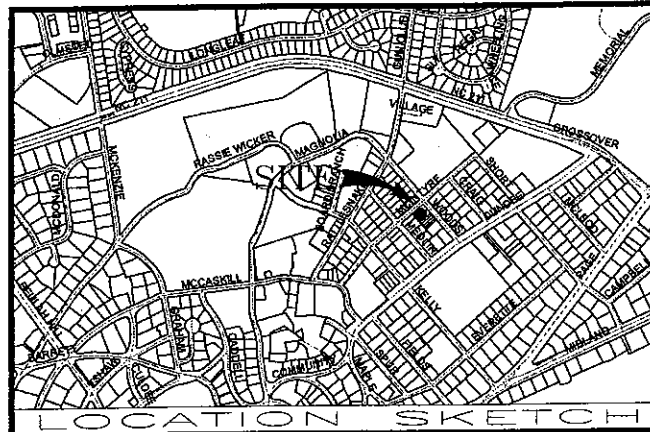
Project Type: ☐ Normal Maintenance ☐ Minor Work ☒ Major Work

Current Status: ☒ Contributing ☐ Non-contributing ☐ Vacant

COA# 19-041 Date: _____ Staff: KPL HPC Mtg(s): 5/23/19

Other required approvals: _____

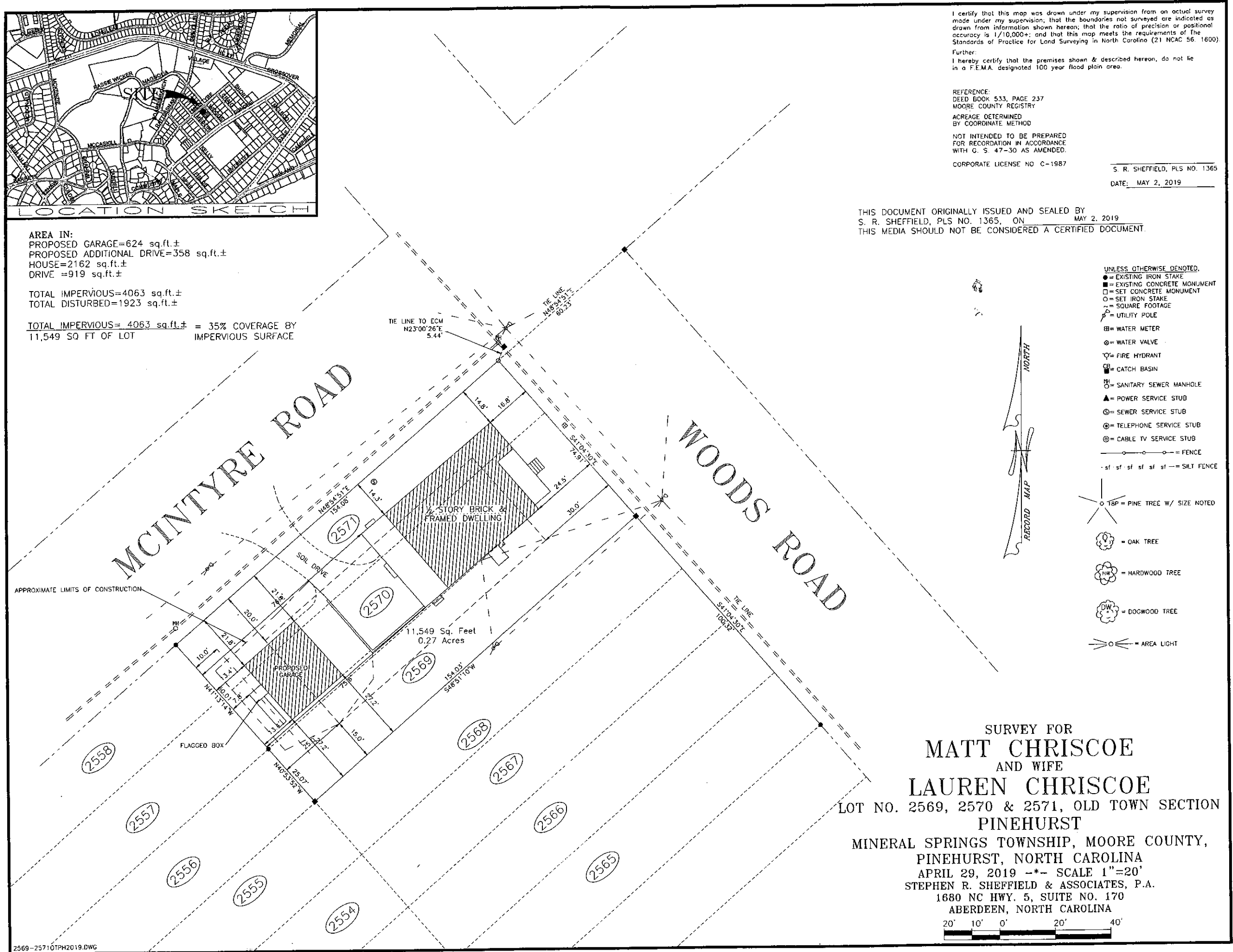
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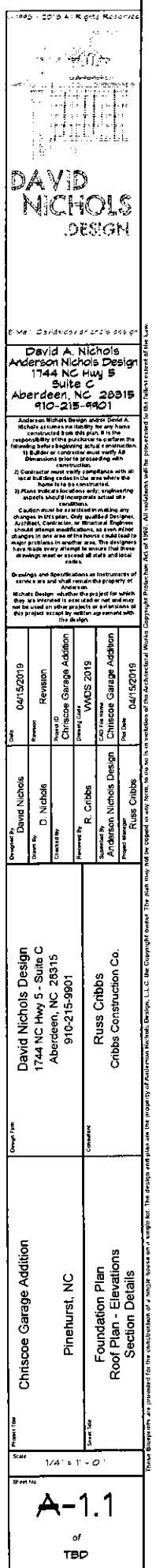
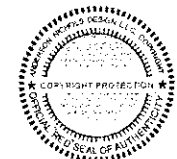
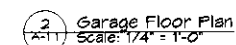
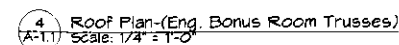
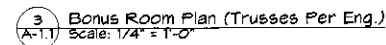
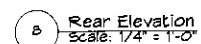
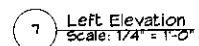
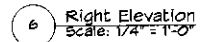


AREA IN:
PROPOSED GARAGE=624 sq.ft.±
PROPOSED ADDITIONAL DRIVE=358 sq.ft.±
HOUSE=2162 sq.ft.±
DRIVE =919 sq.ft.±

TOTAL IMPERVIOUS=4063 sq.ft.±
TOTAL DISTURBED=1923 sq.ft.±

TOTAL IMPERVIOUS= 4063 sq.ft.± = 35% COVERAGE BY
11,549 SQ FT OF LOT IMPERVIOUS SURFACE









**NORMAL MAINTENANCE AND MINOR WORK REPORT FOR 4/16 TO 5/15
ADDITIONAL AGENDA DETAILS:**

FROM:

Kathy Liles, Senior Planner

DATE OF MEMO:

5/15/2019

MEMO DETAILS:

Attached for the Commission's review is the list of staff issued Certificates of Appropriateness (COAs) for normal maintenance and minor work for the period of April 16, 2019 to May 15, 2019.

ATTACHMENTS:

Description

- Normal Maintenance and Minor Work Report for 4/16 to 5/15



PLANNING AND INSPECTIONS DEPARTMENT

TO: Pinehurst Historic Preservation Commission
FROM: Katherine Liles, On-Call Senior Planner
DATE: 5/16/2019
SUBJECT: Staff Approvals of Normal Maintenance and Minor Work

STAFF APPROVALS REPORT for LOCAL HISTORIC DISTRICT
APRIL 25, 2019 MEETING
04/16/19 TO 05/15/19

MINOR WORK – COA ISSUED AND NORMAL MAINTENANCE

Nature of Work	COA Number	Application Date	Approval Date	Address	Property Owner
Tree removal front yard	19-036	4/10/2019	4/29/2019	20/30 Orange Rd	O'Hara/Drabik
New roof membrane and clean up copper parapet wall	19-037	4/22/2019	4/29/2019	95 Cherokee Rd.	Conbros Enterprises, LLC
Paint exterior of Village Café	19-038	5/1/2019	5/1/2019	525 McCaskill Rd.	Gladys and Carl Nines
Screening in rear porch	19-042	5/6/2019	5/6/2019	15 Ritter Road W	Ann and Thomas Register
Fence	19-043	4/22/2019	5/9/2019	225 Kelly Rd.	Alex and Vincent Enriquez
Reroofing	19-044	4/23/2019	5/9/2019	260 Cherokee Rd.	Gilbert Morland
New accessory building and door for outbuilding	19-046	4/28/2019	5/13/2019	85 Fields Rd.	Don Rectenwald
Gazebo and cover for existing paved area	19-047	5/13/2019	5/13/2019	4 Village Lane	Michael Vaden
replace 1961 door with wooden Mahogany door and shutters with operable shutters	19-048	4/30/2019	5/13/2019	15 Beulah Hill	Meg Ann Ellis